

STATE OF INDIANA )

COUNTY OF MARION )

) SS:

BEFORE THE INDIANA  
COMMISSIONER OF INSURANCE

CAUSE NO. 6492-AG09-0428-080

IN THE MATTER OF: )

Beckman & Associates, Inc. )  
5226 South East Street, Suite A-1 )  
Indianapolis, Indiana 46227 )

Respondent. )

Type of Agency Action: Enforcement )  
License Number: 37868 )

**FILED**  
MAY 21 2009  
STATE OF INDIANA  
DEPT. OF INSURANCE

**FINAL ORDER AND APPROVAL**

The Indiana Department of Insurance ("Department") and Beckman & Associates, Inc., ("Respondent"), a licensed Indiana insurance producer, signed an Agreed Entry which purports to resolve all issues involved in the action by the Department regarding Respondent's license, and which has been submitted to the Commissioner of Insurance ("Commissioner") for approval.

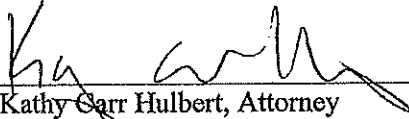
The Commissioner, after reviewing the Agreed Entry, finds it has been entered into fairly and without fraud, duress or undue influence, and is fair and equitable between the parties. The Commissioner hereby incorporates the Agreed Entry as if fully set forth herein, and approves and adopts in full the Agreed Entry as a resolution of this matter.



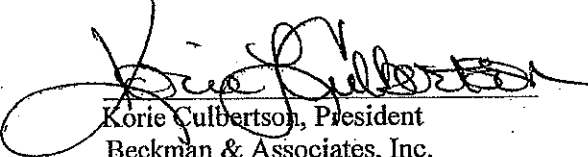
IT IS THEREFORE, NOW AGREED by and between the parties as follows:

1. The Commissioner has jurisdiction over the subject matter and the Respondent in this administrative action.
2. This Agreed Entry is executed voluntarily by the parties.
3. Respondent knowingly, voluntarily and freely waives its right to a public hearing on the issues in this action.
4. Respondent waives its right for a judicial review of this matter.
5. Respondent acknowledges that land conveyances, such as Special Warranty Deeds, Quit Claim Deeds, Corporate Deeds, Personal Representative Deeds, Corrective Deeds, etc., are legal documents, only to be prepared by a licensed attorney in the State of Indiana or by the person who holds marketable title to the real property.
6. Respondent further acknowledges that a layperson preparing deeds is engaging in the unauthorized practice of law and is subject to sanctions pursuant to Rule 24 "Rules Governing the Unauthorized Practice of Law" of the Indiana Rules of Court.
7. Respondent agrees to immediately cease and desist from preparing deeds for the purpose of transferring title to real property until a licensed attorney in the State of Indiana can be retained to prepare these conveyances on its behalf.
8. Respondent understands that failure to comply with this Agreed Entry will result in a referral to the Indiana Supreme Court Disciplinary Commission for their consideration relative to the unlicensed practice of law and in the filing of a Statement of Charges against the agency insurance producer license in front of the Indiana Insurance Commissioner for violations of IC 27-1-15.6-12.
9. The Department agrees to accept Respondent's compliance with the terms of this Agreed Entry as full resolution of this matter.

3/3/09  
Date Signed

  
Kathy Carr Hulbert, Attorney  
Indiana Department of Insurance

5/5/09  
Date Signed

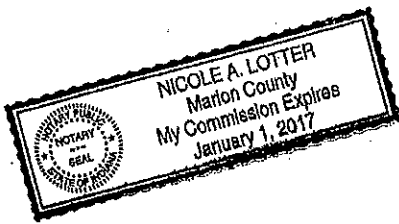
  
Korie Culbertson, President  
Beckman & Associates, Inc.

STATE OF INDIANA )

COUNTY OF Marion )

) SS:

Before me a Notary Public for Marion County, State of Indiana, personally appeared Korie Culbertson and being first duly sworn by me upon his oath, states that the facts alleged in the foregoing instrument are true. Signed and sealed this 5<sup>th</sup> day of May, 2009.



Nicole A. Lotter  
Notary Signature

Nicole A. Lotter  
Notary Name Printed

My Commission expires: 1-1-2017

County of Residence: Marion