STATE OF INDIANA)	BEFORE THE INDIANA
COUNTY OF MARION ) SS:	COMMISSIONER OF INSURANCE
,	CAUSE NO. 6492-AG09-0428-080
IN THE MATTER OF:	)
Beckman & Associates, Inc.	3
5226 South East Street, Suite A-1	
Indianapolis, Indiana 46227	
Respondent.	MAY 21 2009
Type of Agency Action: Enforcement	STATE OF INDIANA DEPT. OF INSURANCE
License Number: 37868 )	. OF INSURANCE

## FINAL ORDER AND APPROVAL

The Indiana Department of Insurance ("Department") and Beckman & Associates, Inc., ("Respondent"), a licensed Indiana insurance producer, signed an Agreed Entry which purports to resolve all issues involved in the action by the Department regarding Respondent's license, and which has been submitted to the Commissioner of Insurance ("Commissioner") for approval.

The Commissioner, after reviewing the Agreed Entry, finds it has been entered into fairly and without fraud, duress or undue influence, and is fair and equitable between the parties. The Commissioner hereby incorporates the Agreed Entry as if fully set forth herein, and approves and adopts in full the Agreed Entry as a resolution of this matter.

STATE OF INDIANA)	BEFORE THE INDIANA
) SS: COUNTY OF MARION )	COMMISSIONER OF INSURANCE
,	CAUSE NO. 6492-AG09-0428-080
IN THE MATTER OF:	)
Beckman & Associates, Inc. 5226 South East Street, Suite A-1	
Indianapolis, Indiana 46227	MAY 2.1 2009
Respondent.	STATE OF INDIANA DEPT. OF INSURANCE
Type of Agency Action: Enforcement Insurance License No. 37868	) )

## AGREED ENTRY

This Agreed Entry is entered into by Kathy Carr Hulbert, Attorney for and on behalf of the State of Indiana, Department of Insurance ("Department"), and Beckman & Associates, Inc. ("Respondent"), a licensed resident insurance producer holding Indiana insurance license number 37868, to resolve all matters under Cause Number 6492-AG09-0428-080. This Agreed Entry is subject to the review and approval of the Commissioner of the Indiana Department of Insurance.

WHEREAS, Respondent is a licensed insurance producer in the State of Indiana;

WHEREAS, during the course of a regular agency examination Respondent admitted to producing Quit Claim Deeds without the benefit of an attorney; and

WHEREAS, the Department and Respondent desire to resolve their differences and settle the issues without a hearing;

## IT IS THEREFORE, NOW AGREED by and between the parties as follows:

- The Commissioner has jurisdiction over the subject matter and the 1. Respondent in this administrative action.
- 2. This Agreed Entry is executed voluntarily by the parties.
- Respondent knowingly, voluntarily and freely waives its right to a public hearing on 3. the issues in this action.
- 4. Respondent waives its right for a judicial review of this matter.
- Respondent acknowledges that land conveyances, such as Special Warranty Deeds, 5. Quit Claim Deeds, Corporate Deeds, Personal Representative Deeds, Corrective Deeds, etc., are legal documents, only to be prepared by a licensed attorney in the State of Indiana or by the person who holds marketable title to the real property.
- Respondent further acknowledges that a layperson preparing deeds is engaging in 6. the unauthorized practice of law and is subject to sanctions pursuant to Rule 24 "Rules Governing the Unauthorized Practice of Law" of the Indiana Rules of Court.
- 7. Respondent agrees to immediately cease and desist from preparing deeds for the purpose of transferring title to real property until a licensed attorney in the State of Indiana can be retained to prepare these conveyances on its behalf.
- Respondent understands that failure to comply with this Agreed Entry will result in 8. a referral to the Indiana Supreme Court Disciplinary Commission for their consideration relative to the unlicensed practice of law and in the filing of a Statement of Charges against the agency insurance producer license in front of the Indiana Insurance Commissioner for violations of IC 27-1-15.6-12.
- 9. The Department agrees to accept Respondent's compliance with the terms of this Agreed Entry as full resolution of this matter.

Kathy Garr Hulbert, Attorney

Indiana Department of Insurance

Culbertson, President

Beckman & Associates, Inc.

STATE OF INDIANA )	
COUNTY OF Warion ) SS:	
Before me a Notary Public for	County, State of Indiana,
personally appeared Korie Culbertson and bein	g first duly sworn by me upon his oath, states that
the facts alleged in the foregoing instrument	t are true. Signed and sealed this $\frac{510}{100}$ day of
May, 2009.	
NICOLE A LOTTER  NICOLE A LOTTER  Marion County  Marion Expires  Any Commission Expires  January 1, 2017	Notary Signature  Nicola A. Cotter  Notary Name Printed
My Commission expires: 1-1-2017	
County of Residence: W Mi OV	