



April 29, 2024  
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*JS* 4-29-2024  
Jeff Spohn

FROM: Jeff Spohn  
Director of Procurement  
812 464-1982  
812 461-5275 Fax

SUBJECT: 25-S2-10001-03140  
Eagles Express C-Store Renovation  
Due: 5-14-24 / 2PM / Local Time

#### Addendum #1

This addendum forms a part of and modifies bidding requirements that pertains to the above-mentioned project.

All bidders shall acknowledge receipt of this addendum on the bid proposal form.

JS/bw

#### Procurement

8600 University Boulevard • Evansville, Indiana 47712 • (812) 464-1847 • FAX (812) 461-5275

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## ADDENDUM

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<b>Project:</b>	Eagle Express Convenience Store Renovation 7700 Mahrenholz Rd Evansville, IN 47712	<b>Addendum No.:</b>	001
		<b>Date:</b>	April 26, 2024
<b>Owner:</b>	University of Southern Indiana 8600 University Blvd Evansville, IN 47712	<b>Project Number:</b>	2312-357
		<b>Contract for:</b>	All Construction

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The original specifications and drawings dated April, 2024, for the project noted above are amended as noted in this Addendum Number 001. Receipt of this addendum and any subsequent addenda must be acknowledged on the final bid documents. This addendum consists of seven (8) item(s) and six (6) attachment(s).

### PROJECT MANUAL

- 1-1 Bid Proposal Form: Replace and use the enclosed Bid Proposal Form that is part of this Addendum.
- 1-2 Section 012100 Allowances: Refer to Paragraph 3.3 Schedule of Allowances and omit Allowance No.1.
- 1-3 Section 012200 Unit Prices: Refer to Paragraph 3.1 Schedule of Unit Prices and omit Unit Price No.1.

### DRAWINGS

- 1-4 Drawing A1.1 Demolition Plan & Floor Plan:
  - A. This Drawing is being reissued to revise notes as shown.
- 1-5 Drawing A1.2 Reflected Ceiling Plan:
  - A. This Drawing is being reissued to revise notes as shown.
- 1-6 Drawing A1.3 Roof Plan & Details:
  - A. Details 3 & 6/A1.3 and Interior Elevation 8/A1.3 has been revised to better represent required conditions.
- 1-6 Drawing E3.1 Lighting Plan
  - A. This drawing is being reissued to revise missing fixture tags.
- 1-7 Drawing M2.1 HVAC Details and Schedules, Rooftop Unit Schedule
  - A. Revised model number for RTU-1.
  - B. Provide roof curb adaptor as required for all units.

**Attachments:** Bid Proposal Form; Drawings A1.1, A1.3, E3.1, M2.1  
**By:** John Bolton, Zac Shoulders, Ryan Steinhart  
**CC:** James Wolfe (USI); Jack Faber (Hafer)

**CONTRACTOR'S BID FOR PUBLIC WORKS**

PART I

(To be completed for all bids)  
(Please type or print)

**Eagle Express Convenience Store Renovation  
University of Southern Indiana**

**Specification No. 25-S2-10001-03140**

BIDDER (Firm) \_\_\_\_\_

Address \_\_\_\_\_ P.O. Box \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone Number \_\_\_\_\_ Fax Number \_\_\_\_\_

Person to contact regarding this Bid \_\_\_\_\_

Pursuant to notices given, the undersigned offers to furnish all labor and materials necessary to complete the construction work for:

General, Mechanical & Electrical Construction

of public works project, Eagle Express C Store 2024 Renovation, in accordance with plans and specifications prepared by Hafer, 21 Southeast Third Street, Suite 800, Evansville, Indiana, 47708, as follows:

In the Bid Proposal, the amounts shall be shown in both words and figures. In the case of discrepancy between the words and the figures, the words shall govern.

**BASE BID**

For the sum of \_\_\_\_\_  
(sum in words)

\_\_\_\_\_ DOLLARS (\$ \_\_\_\_\_)  
(sum in figures)

The undersigned acknowledges receipt of the following Addenda:

Receipt of Addenda Nos 1. \_\_\_\_\_ 2. \_\_\_\_\_ 3. \_\_\_\_\_ 4. \_\_\_\_\_ 5. \_\_\_\_\_ 6. \_\_\_\_\_

**BASE BID BREAKOUT COST:**

Cost of work being performed by minority contractors/subcontractors

\_\_\_\_\_ DOLLARS (\$ \_\_\_\_\_)  
(sum in figures)

**ALTERNATES:**

**Alternate No.1 Lighting:** State the amount of Alternate No. 1 as stated in Section 012300 – Alternate No.1.

\_\_\_\_\_ DOLLARS (\$ \_\_\_\_\_)  
(sum in figures)

**Alternate No.2 Flooring:** State the amount of Alternate No. 2 as stated in Section 012300 – Alternate No.2.

\_\_\_\_\_ DOLLARS (\$ \_\_\_\_\_)  
(sum in figures)

**PROPOSAL TIME**

Bidder agrees that this Bid shall remain in force for a period of sixty (60) consecutive calendar days from the due date, and Bids may be accepted or rejected during this period. Bids not accepted within said sixty (60) consecutive days shall be deemed rejected.

Attended pre-bid conference                      YES \_\_\_\_\_                      NO \_\_\_\_\_

Have visited the job site                              YES \_\_\_\_\_                      NO \_\_\_\_\_

The undersigned further agrees to furnish a bond or certified check with this Bid for an amount equal to five percent (5%) of the Base Bid plus Alternate Bids.

**REVIEW OF ONLINE DOCUMENTS:**

The following supplemental documents have been reviewed online and the bidder understands conditions and requirements of these documents: <http://www.usi.edu/phyplant/bidindex.asp>.

\_\_\_\_\_                      SAMPLE – Owner-Contractor Contract

\_\_\_\_\_                      SAMPLE – Escrow Agreement

\_\_\_\_\_                      Guidelines on Sexual Harassment

\_\_\_\_\_                      USI's Supplementary Conditions to AIA A201 – 1997

\_\_\_\_\_                      USI's Supplementary Conditions to AIA A201 – 2007

\_\_\_\_\_                      Construction Change Order Worksheet

\_\_\_\_\_                      Change Order Pricing Guidelines

\_\_\_\_\_                      Contractor Participation Form

\_\_\_\_\_                      Certificate of Substantial Completion

\_\_\_\_\_                      Project Closeout Checklist

\_\_\_\_\_ University of Southern Indiana Tobacco Free Policy

**CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS**  
(If applicable)

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States. I.C. 5-16-8-2. I hereby certify that I and all subcontractors employed by me for this project will use U.S. Steel on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

The Bidder understands that he shall perform with his organization on the project site, construction labor amounting to no less than fifteen percent (15%) of the total contract cost.

The Bidder's attention is directed to the fact that the maximum amount of work that may be subcontracted on this project will be eighty-five percent (85%) of the total amount of the bid.

**CIVIL RIGHTS:**

Signing the Bid Proposal is certification that the Bidder does not or will not discriminate against any employee on the basis of race, religion, color, sex or national origin. The Bidder further certifies that the Bidder does not maintain or provide for employee facilities which are segregated on any of the above categories.

**PROJECT COMPLETION**

Award Contracts and Notice to Proceed: May 20, 2024  
Construction Substantially Complete: July 15, 2024

**PART II**

(Complete sections I, II, III and IV for all state and local public works projects as required by statutes).

These statements to be submitted under oath by each bidder with an as a part of his bid. (Attach additional pages for each section as needed.

**SECTION I – EXPERIENCE QUESTIONNAIRE**

1. What public works projects has your organization completed?

Contract Amount	Class of Work	When Completed	Name and Address of Owner

2. What public works projects has your organization now in process of construction

Contract Amount	Class of Work	When Completed	Name and Address of Owner

3. Have you ever failed to complete any work awarded to you? \_\_\_\_\_ If so, where and why?

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4. List references from private firms for which you have performed work.

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SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed Work.

2. If you intend to sublet any portion of the Work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you expect to require a bond.

3. What equipment do you intend to use for the proposed project?
  
  
  
  
  
  
  
  
  
  
4. Have you made contracts or received offers for all materials within prices used in preparing your proposal? \_\_\_\_\_ yes \_\_\_\_\_ no

### SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of Bidder's financial statement is mandatory. Any Bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the Contract must be specific enough in detail so that said governing body can make a proper determination of the Bidder's capability for completing the Project if awarded.

### SECTION IV OATH AND AFFIRMATION

I hereby affirm under the penalties of perjury that the facts and information contained in the foregoing Bid for public works are true and correct to the best of my knowledge and belief.

IN TESTIMONY WHEREOF, The Bidder has hereunto set his hand this

\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Bidder: \_\_\_\_\_

IN TESTIMONY WHEREOF, The Bidder (a firm) has hereunto set their hands this

\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Firm Name: \_\_\_\_\_

Individual Names: \_\_\_\_\_

IN TESTIMONY WHEREOF, The Bidder (a corporation) has caused this proposal to be signed by its President and Secretary and affixed its corporate seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Name of Corporation: \_\_\_\_\_

President: \_\_\_\_\_

Secretary: \_\_\_\_\_





**ABBREVIATIONS:**

- FE - EXISTING BRACKET MOUNTED FIRE EXTINGUISHER
- FD - EXISTING FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- FS - EXISTING FLOOR SINK - REFER TO PLUMBING DRAWINGS
- CO - EXISTING CLEANOUT - REFER TO PLUMBING DRAWINGS
- E.T.R. - EXISTING TO REMAIN

**DEMO PLAN REFERENCE NOTES:**

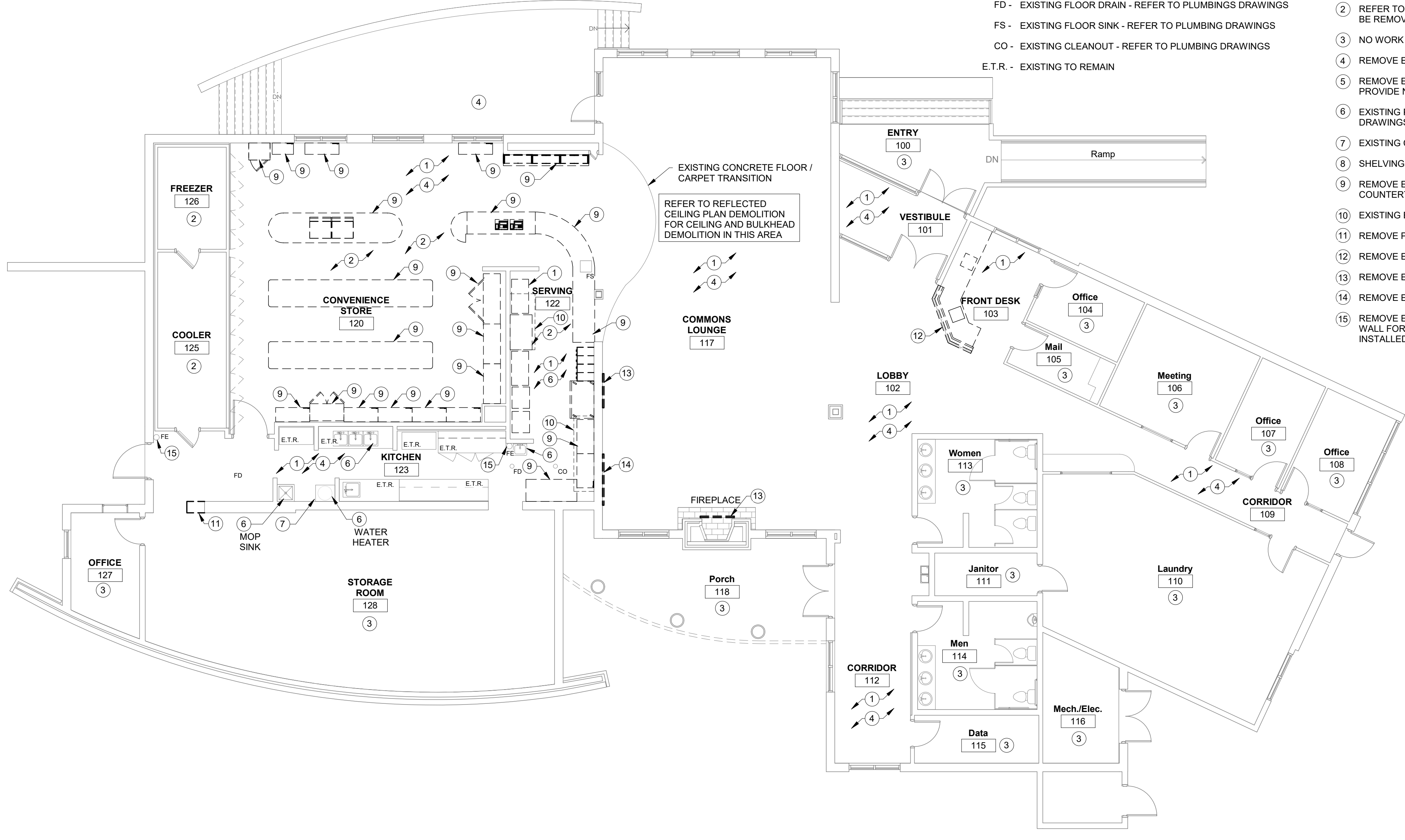
- 1 REMOVE EXISTING FLOOR FINISH AND BASE
- 2 REFER TO FOOD SERVICE DRAWINGS FOR EXISTING EQUIPMENT TO BE REMOVED AND EXISTING EQUIPMENT TO REMAIN.
- 3 NO WORK THIS AREA, UNLESS NOTED OTHERWISE
- 4 REMOVE EXISTING CEILING TILE AND CLEAN GRID
- 5 REMOVE EXISTING CEILING, CLEAN & REINSTALL EXISTING GRID AND PROVIDE NEW CEILING TILE
- 6 EXISTING PLUMBING FIXTURE TO REMAIN - REFER TO PLUMBING DRAWINGS
- 7 EXISTING CONCRETE PAD TO REMAIN
- 8 SHELVING - REMOVED BY OWNER
- 9 REMOVE EXISTING CASEWORK, DISPLAY RACK, SHELVING, COUNTERTOPS, ETC. - REFER TO FOOD SERVICE DRAWINGS
- 10 EXISTING EXHAUST HOOD, ABOVE, TO REMAIN
- 11 REMOVE PORTION OF EXISTING WALL - REFER TO DETAIL ON SHT. A1.3
- 12 REMOVE EXISTING CMU DESK AND COUNTERTOP
- 13 REMOVE EXISTING VIDEO MONITOR
- 14 REMOVE EXISTING TACKBOARD
- 15 REMOVE EXISTING BRACKET MOUNTED FIRE EXTINGUISHER, PREP WALL FOR NEW FINISHES. REINSTALL AFTER FINISHES HAVE BEEN INSTALLED

**GENERAL FLOOR PLAN NOTES:**

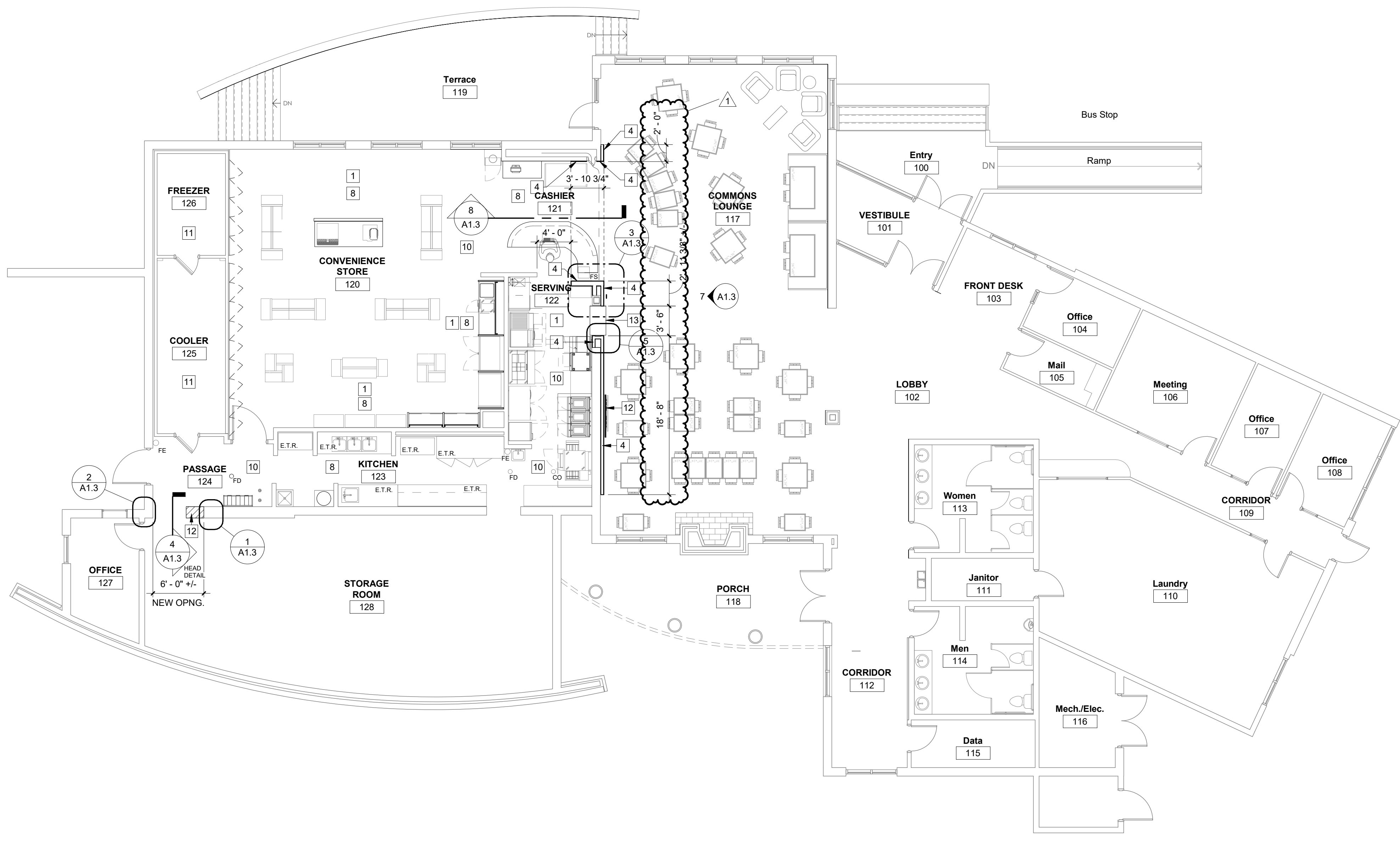
- A. ALL DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF FINISH GYPSUM BOARD, FACE OF MASONRY, FACE OF CONCRETE OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.
- B. ALL INTERIOR PARTITION WALLS TO BE WOOD UNLESS OTHERWISE NOTED.
- C. ALL NEW GYPSUM BOARD CONSTRUCTION TO BE PAINTED UNLESS NOTED OTHERWISE.
- D. CONTRACTOR SHALL PATCH AND MATCH EXISTING WALL FINISHES WITH LIKE MATERIALS AND FINISHES WHERE DISTURBED BY CONSTRUCTION.
- E. CONTRACTOR SHALL PROVIDE BLOCKING IN WALLS, CEILINGS, AND ANY OTHER LOCATION AS REQUIRED FOR INSTALLATION OF CASEWORK, SURFACE MOUNTED ITEMS, PROJECTION SCREENS, MARKER BOARDS, TOILET ACCESSORIES, SINK ACCESSORIES, WALL MOUNTED DOOR STOPS, TELEVISION MONITORS AND ANY OTHER SURFACE MOUNTED ITEMS.
- F. FOR INTERIOR FINISHES, REFER TO THE ROOM FINISH SCHEDULE ON SHEET ID1.1.
- G. CONTRACTOR SHALL PROVIDE ACCESS PANELS IN WALLS WHERE SERVICE TO MECHANICAL, PLUMBING, ELECTRICAL, ETC. ELEMENTS ARE TO BE ADJUSTED I.E. CLEANOUTS, VALVES DAMPERS, ETC. ACCESS PANELS SHALL BE OF THE SAME RATING AS THE ADJACENT WALL CONSTRUCTION.
- H. CONTRACTOR SHALL PATCH FLOORING AND WHERE WALLS BASE HAVE BEEN REMOVED DURING DEMOLITION WITH FLOORING AND BASE THAT MATCHES EXISTING, ADJACENT FLOOR FINISHES, UNLESS NOTED OTHERWISE.
- I. REFER TO ELEVATIONS AND DETAILS FOR CLARIFICATION OF WALL FINISH EXTENTS.
- J. CONTRACTOR SHALL CAULK DOOR FRAME FROM FLOOR CONTINUOUSLY AT THE PERIMETER OF DOOR AND WINDOW FRAMES. CAULK AFTER WALL COVERING IS INSTALLED (IF SPECIFIED).
- K. MAINTAIN FIRE RATED ASSEMBLY IN WALLS, CEILINGS, FLOORS, ETC. PROVIDE THROUGH PENETRATION FIRE STOP SYSTEMS AT ALL PENETRATIONS IN FIRE-RATED ASSEMBLIES. PROVIDE FIRE-RESISTIVE JOINT SYSTEMS AT ALL JOINTS BETWEEN FIRE-RATED ASSEMBLIES AND ADJACENT CONSTRUCTION.
- L. FLOOR DRAINS SHALL BE RECESSED 1/2" TO 3/4" (BASED ON ROOM SIZE) UNLESS NOTED OTHERWISE. SLOPE FLOOR TO PROVIDE POSITIVE DRAINAGE. COORDINATE WITH PLUMBING AND INTERIOR DESIGN.
- M. HOLD GYPSUM BOARD 1/4" FROM FLOOR, CEILING AND ANY ADJACENT SURFACE AND PROVIDE A CONTINUOUS BEAD OF ACOUSTICAL SEALANT AROUND PERIMETER OF ACOUSTICAL PARTITIONS ON EACH SIDE OF THE WALL. PROVIDE ACOUSTICAL FIRE SEALANT AT FIRE-RATED PARTITIONS.
- N. CONSTRUCTION AND INSTALLATIONS SHALL CONFORM TO ALL FEDERAL, STATE, & LOCAL ORDINANCES, CODES, ETC.
- O. ALL FIRE-RATED ASSEMBLIES WITH RECESSED WALL ACCESSORIES AND/OR PENETRATIONS I.E. RECEPTACLES, CONDUITS, DUCTS, PIPING, FIRE EXTINGUISHER CABINETS, PAPER TOWEL DISPENSERS, ETC. SHALL BE CONSTRUCTED TO MAINTAIN THE DESIGNATED ASSEMBLY RATING.
- P. ALL SOUND, SMOKE OR FIRE RATED WALLS SHALL EXTEND FROM FLOOR SUBSTRATE TO THE UNDERSIDE OF FLOOR OR ROOF DECK ABOVE AND SHALL BE FULLY FIRE-SAFE AND SEALED AS REQUIRED TO PROVIDE THE ASSEMBLY RATING DESIGNATED.
- Q. ALL PENETRATIONS THROUGH FLOORS, CHASES, SHAFTS AND FIRE RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
- R. CONTRACTOR SHALL CAULK ALL DISSIMILAR MATERIALS (ie. DRYWALL, STOREFRONT).
- S. PROVIDE CONTROL JOINTS IN PARTITIONS @ 30'-0" MAX OR AS INDICATED ON DRAWINGS.

**GENERAL DEMOLITION NOTES:**

- A. FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT / ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT EXIST.
- B. REMOVE EXISTING CONSTRUCTION AS NOTED AND WHERE SHOWN DASHED. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR THE INSTALLATION OF NEW WORK, AND FOR PROTECTION OF ITEMS TO REMAIN.
- C. CONTRACTOR IS RESPONSIBLE FOR ANY DEMOLITION THAT IS NOT SHOWN ON DEMOLITION DRAWINGS BUT IS REQUIRED FOR NEW CONSTRUCTION.
- D. IF CONTRACTOR BECOMES AWARE OF ANY LOAD BEARING POINTS WITHIN DEMOLITION NOT NOTED ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT / ENGINEER PRIOR TO REMOVING THE CONSTRUCTION.
- E. PATCH OPENINGS IN WALLS, CEILINGS AND FLOORS RESULTING FROM DEMOLITION WORK. PATCH WITH MATCHING MATERIALS AND CONSTRUCTION UNLESS NOTED OTHERWISE.
- F. THE OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS REMOVED DURING DEMOLITION INCLUDING FURNISHINGS AND EQUIPMENT.
- G. CUT OPENINGS IN FLOOR AND ROOF STRUCTURE FOR NEW MECHANICAL AND ELECTRICAL DUCTWORK, PIPING AND CONDUIT. REINFORCE OPENINGS AS REQUIRED. SAW CUT AND PATCH EXISTING FLOOR SLABS AS REQUIRED FOR NEW PIPING. REFER TO PLUMBING DRAWINGS.
- H. REFER TO MECHANICAL/ELECTRICAL PLANS AND SPECIFICATIONS FOR REMOVAL/RELOCATION/REROUTING OF EXISTING UTILITIES.
- I. DEMOLITION OF EXISTING UTILITIES SHALL BE MADE SO THAT SERVICE TO OTHER AREAS UTILIZED BY THE OWNER ARE NOT INTERRUPTED. PROVIDE TEMPORARY UTILITIES, ISOLATION VALVES, DISCONNECTS, ETC. WHERE REQUIRED DURING DEMOLITION AND NEW CONSTRUCTION.
- J. WHERE EXISTING ELECTRICAL DEVICES ARE INDICATED TO BE REMOVED, REPAIR WALL AS REQUIRED TO MATCH EXISTING (TO REMAIN WALL RATING. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES FOR A SMOOTH, FLUSH APPEARANCE.
- K. PROVIDE DUST BARRIERS AS REQUIRED TO PREVENT MIGRATION TO AREAS TO BE OCCUPIED BY OWNER. PROTECT ALL EQUIPMENT TO REMAIN. COORDINATE PROTECTION OF EXISTING EQUIPMENT WITH OWNER.
- L. COORDINATE DEMOLITION WITH SEQUENCING OF THE WORK.
- M. PROTECT EXISTING FINISHES WHICH ARE TO REMAIN.
- N. CONDUCT DEMOLITION ACTIVITIES CLEANLY, COMPLETELY AND IN A MANNER SUITABLE FOR NEW FINISHES.
- O. WHILE DEMOLITION IS OCCURRING, SENSITIVE OWNER ACTIVITIES WILL BE PROCEEDING IN ADJACENT AREAS. MINIMIZE NOISE AND DUST LEVELS AND TEMPORARILY SUSPEND DEMOLITION AS REQUESTED BY THE OWNER.
- P. PROVIDE TEMPORARY PARTITIONS TO MAINTAIN PROPER FIRE EXITS AND TO CONFINE PEDESTRIAN ACTIVITY TO OCCUPIED SPACES MAINTAIN REQUIRED MEANS OF EGRESS AND SIGNAGE FOR EGRESS.
- Q. WHERE DEMOLITION ACTIVITY DAMAGES OR REMOVES ANY APPLIED FIREPROOFING OR CONSTRUCTION INSTALLED AS PART OF A RATED ASSEMBLY, REPLACE FIREPROOFING AND CONSTRUCTION MATERIALS TO ACHIEVE AND MAINTAIN APPROPRIATE ASSEMBLY RATING.
- R. VERIFY FLOOR ELEVATIONS ON EACH SIDE OF WALLS BEING REMOVED. GRIND AND PATCH FLOOR AND INSTALL EPOXY FILL MATERIAL AS REQUIRED FOR A SMOOTH LEVEL FLOOR CONDITION.
- S. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP COST FOR DUST AND DEBRIS WHICH MIGRATE INTO EXISTING, ADJACENT SPACES.
- T. REMOVE ALL EXISTING WALL-MOUNTED ITEMS WITHIN THE PROJECT LIMITS WHICH ARE NOT INDICATED TO REMAIN. IF ITEMS ARE REMOVED FROM WALLS OR COLUMNS THAT REMAIN, PATCH WALLS AND COLUMNS AS REQUIRED TO RECEIVE NEW FINISHES.
- U. PATCH ALL FLOOR PENETRATIONS RESULTING FROM REMOVAL OF EXISTING DUCTWORK, PIPING ELECTRICAL RACEWAYS, ETC. FILL PENETRATION WITH CONCRETE, FULL FLOOR THICKNESS AND MAINTAIN FIRE-RESISTIVE RATING OF FLOOR SYSTEM. FINISH CONCRETE IN MANNER SUITABLE FOR NEW FLOOR FINISHES.
- V. PATCH ALL WALL INTERSECTIONS AND PENETRATIONS RESULTING FROM THE REMOVAL OF EXISTING WALLS, DUCTWORK, PIPING, ELECTRICAL RACEWAYS, ETC. IN THE INTERIOR WALLS TO REMAIN. THE PENETRATIONS SHALL BE FILLED FLUSHED WITH AND OF THE SAME MATERIALS AS THE SURROUNDING WALLS (INCLUDES WORK ABOVE CEILINGS).



**DEMOLITION PLAN**  
1/8" = 1'-0"



**FLOOR PLAN**  
1/8" = 1'-0"

**FLOOR PLAN REFERENCE NOTES:**

- 1 NEW EQUIPMENT - REFER TO FOOD SERVICE DRAWINGS
- 2 EXISTING BRACKET MOUNTED FIRE EXTINGUISHER
- 3 INFILL EXISTING OPENING WITH WOOD STUDS AND GYPSUM BOARD. ALIGN FINISH SURFACES BOTH SIDES OF WALL AND FINISH TO MATCH ADJACENT EXISTING WALL MATERIAL AND FINISH
- 4 2x4 WOOD STUD FRAMING WITH LAMINATED PLYWOOD WITH FINISHED ENDS, ONE SIDE
- 5 NEW SHELVING
- 6 NEW WALL CONSTRUCTION - 2x6 WOOD STUD FRAMING AT 16" O.C. W/ 5/8" GYPSUM BD., EA. SIDE. U.N.O.
- 7 NEW CASEWORK
- 8 NEW FOOD SERVICE CASEWORK, DISPLAY RACKS, SHELVING, COUNTERTOPS, ETC. - REFER TO FOOD SERVICE DRAWINGS
- 9 PATCH EXISTING FLOOR, WHERE WALL HAS BEEN REMOVED, WITH MATERIAL AND FINISH TO MATCH EXISTING ADJACENT FLOOR.
- 10 NEW FLOORING AND BASE THROUGHOUT THIS ROOM - REFER TO INTERIOR FINISHES DRAWING
- 11 EXISTING STRUCTURAL COLUMN
- 12 NEW VIDEO MONITOR
- 13 CUBBIES - REFER TO FOOD SERVICE DRAWINGS

**USI EAGLE EXPRESS CONVENIENCE STORE RENOVATION**

**BUILDING CODE SUMMARY:**

**PROJECT DESCRIPTION**

THE UNIVERSITY OF SOUTHERN INDIANA BUILDING IS LOCATED AT 7700 MAHRENHOLZ ROAD EVANSVILLE, INDIANA, 44712.

THIS IS A SINGLE-STORY BUILDING SELECTIVELY RENOVATED IN 2007 AND AGA INCLUDING AN ADDITION IN 2011. THIS IS A PARTIAL INTERIOR RENOVATION CONSISTING OF FOOD SERVICE EQUIPMENT REPLACEMENT AND UPDATING IN FINISHES. THIS IS INTENDED TO SUPPORT USI'S EXISTING MERCANTILE OPERA

**APPLICABLE CODES**

- GENERAL ADMINISTRATIVE RULES (GAR) 675 IAC 12
- 2014 INDIANA BUILDING CODE (2012 IBC) 675 IAC 13-2.6
- 2014 INDIANA MECHANICAL CODE (2012 IMC) 675 IAC 18-1.6
- 2014 INDIANA FIRE CODE (2012 IFG) 675 IAC 22-2.5
- 2014 INDIANA PLUMBING CODE (2012 IPC) 675 IAC 16-1.4
- 2014 INDIANA ELECTRICAL CODE (2008 NFPA 70) 675 IAC 17-1.8
- 2010 INDIANA ENERGY CONSTRUCTION CODE (ASHRA 90.1, 2007 EDITION, AS AMENDED) 675 IAC 19.3

**BUILDING AREA**

	EXISTING	RENOVATED
MAIN LEVEL:	8,829 SF	2,700 SF +/-

**SEISMIC DESIGN CATEGORY**

CATEGORY D

**CONSTRUCTION TYPE**

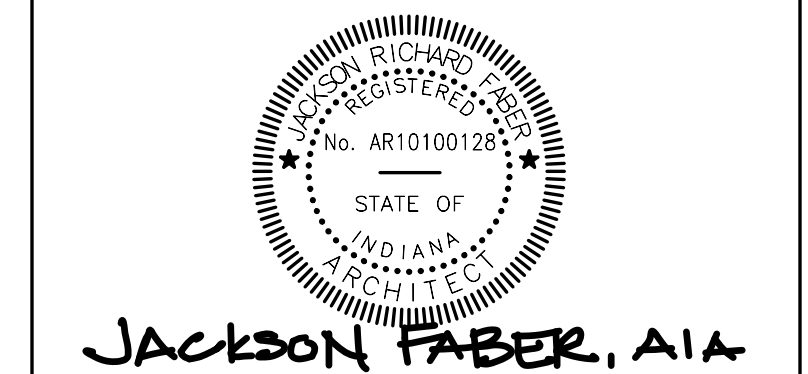
TYPE VB - WOOD FRAMED

**BUILDING ELEMENTS**

AUTOMATIC FIRE SUPPRESSION:	PROVIDED/EXISTING 100%
STANDPIPES:	NOT REQUIRED
DETECTION/ALARM:	FIRE ALARM SYSTEM IS EXISTING
YARD/SEPARATION:	THE FACILITY IS FREE-STANDING WITH 60' OPEN SIDE YARDS OR PUBLIC WAYS ON ALL SIDES.

**OCCUPANCY**

MERCANTILE	M/VB
ASSEMBLY	A-3/VB
BUSINESS	B/VB



Revisions:

#	Description	Date
1	Addendum #1	04/26/2024

Designed By: \_\_\_\_\_ Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

The drawings, specifications and other documents, including those in electronic form prepared by Haffer for this project are instruments of Service, and may be used solely with respect to this project. The documents may not be reproduced or modified by a third party without first obtaining the express written consent of Haffer. Authorized use of electronic media or the does not guarantee that these files contain complete and accurate information. In order to insure the accuracy of the information contained and that no changes or modifications have been made, these files must be compared to the project's contract documents with stamped and sealed certification and applicable approved modifications.

**DEMOLITION PLAN & FLOOR PLAN**

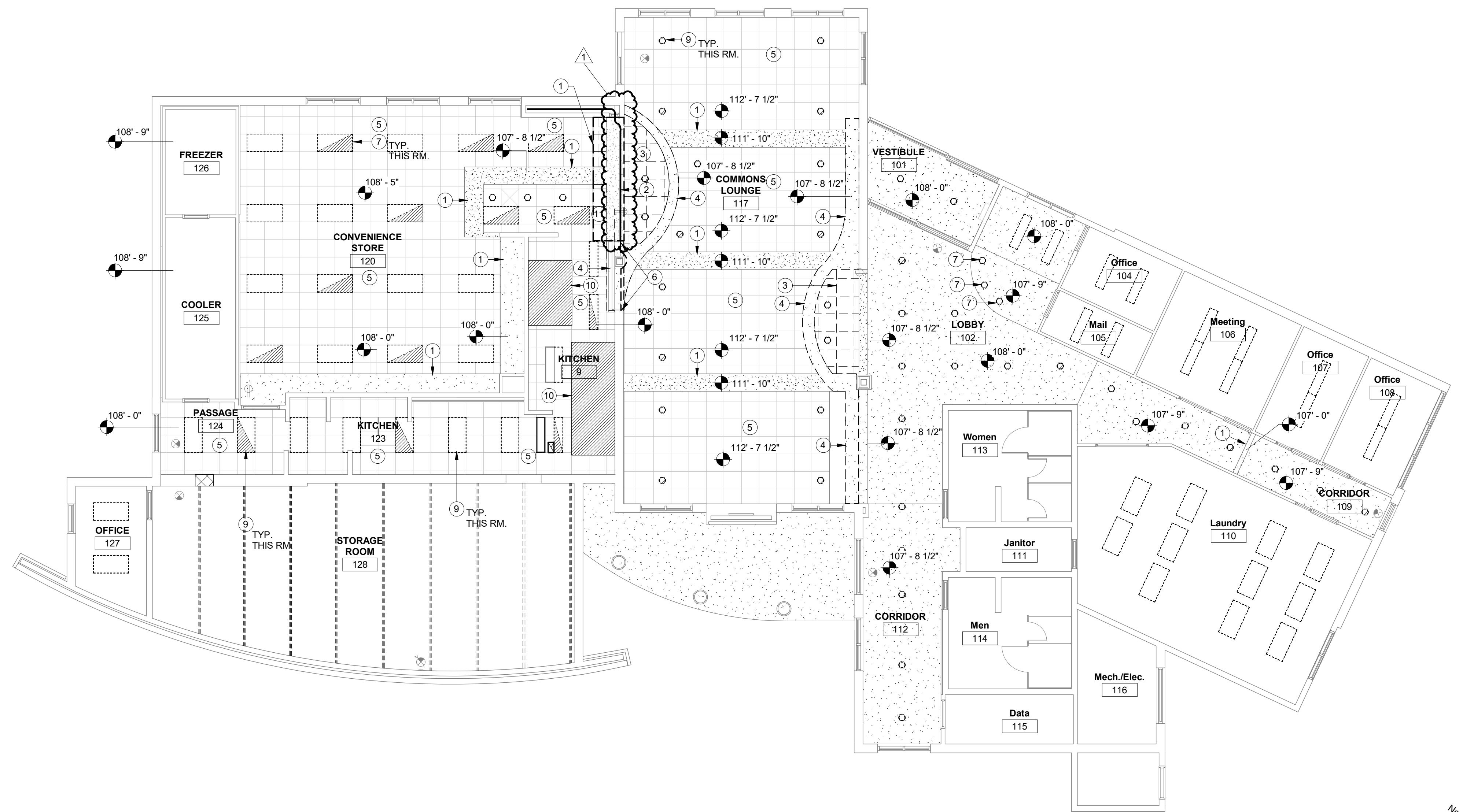
Architect's Project No: 2312-357 Date: APRIL, 2024

Drawing No: A1.1

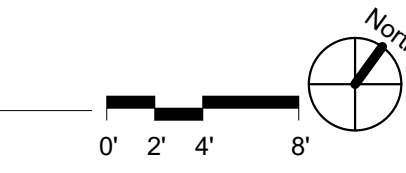
**RCP DEMOLITION REFERENCE NOTES:**

- 1 EXISTING BULKHEAD TO BE REMOVED
- 2 EXISTING SECURITY SCREEN AND TRACK TO REMAIN
- 3 EXISTING LAY-IN CEILING TILE AND GRID TO BE REMOVED
- 4 EXISTING BULKHEAD AND ASSOCIATED FRAMING TO BE REMOVED
- 5 EXISTING LAY-IN CEILING TILE TO BE REMOVED, GRID TO REMAIN AND BE CLEANED OR PAINTED
- 6 PORTION OF EXISTING SECURITY SCREEN TO BE REMOVED
- 7 EXISTING LIGHTS TO BE REMOVED - REFER TO ELECTRICAL DRAWINGS
- 8 EXISTING EXHAUST HOOD TO REMAIN
- 9 PORTION OF EXISTING LAY-IN CEILING TILE AND GRID TO BE REMOVED, AS REQ'D. TO ACCOMMODATE NEW BULKHEAD / SOFFIT
- 10 PORTION OF EXISTING LAY-IN CEILING TILE, GRID AND BULKHEAD TO BE REMOVED, AS REQ'D. TO ACCOMMODATE NEW BULKHEAD / SOFFIT

REFER TO SHEET A1.1 FOR GENERAL DEMOLITION NOTES



**REFLECTED CEILING PLAN - DEMOLITION**  
1/8" = 1'-0"



**RCP REFERENCE NOTES**

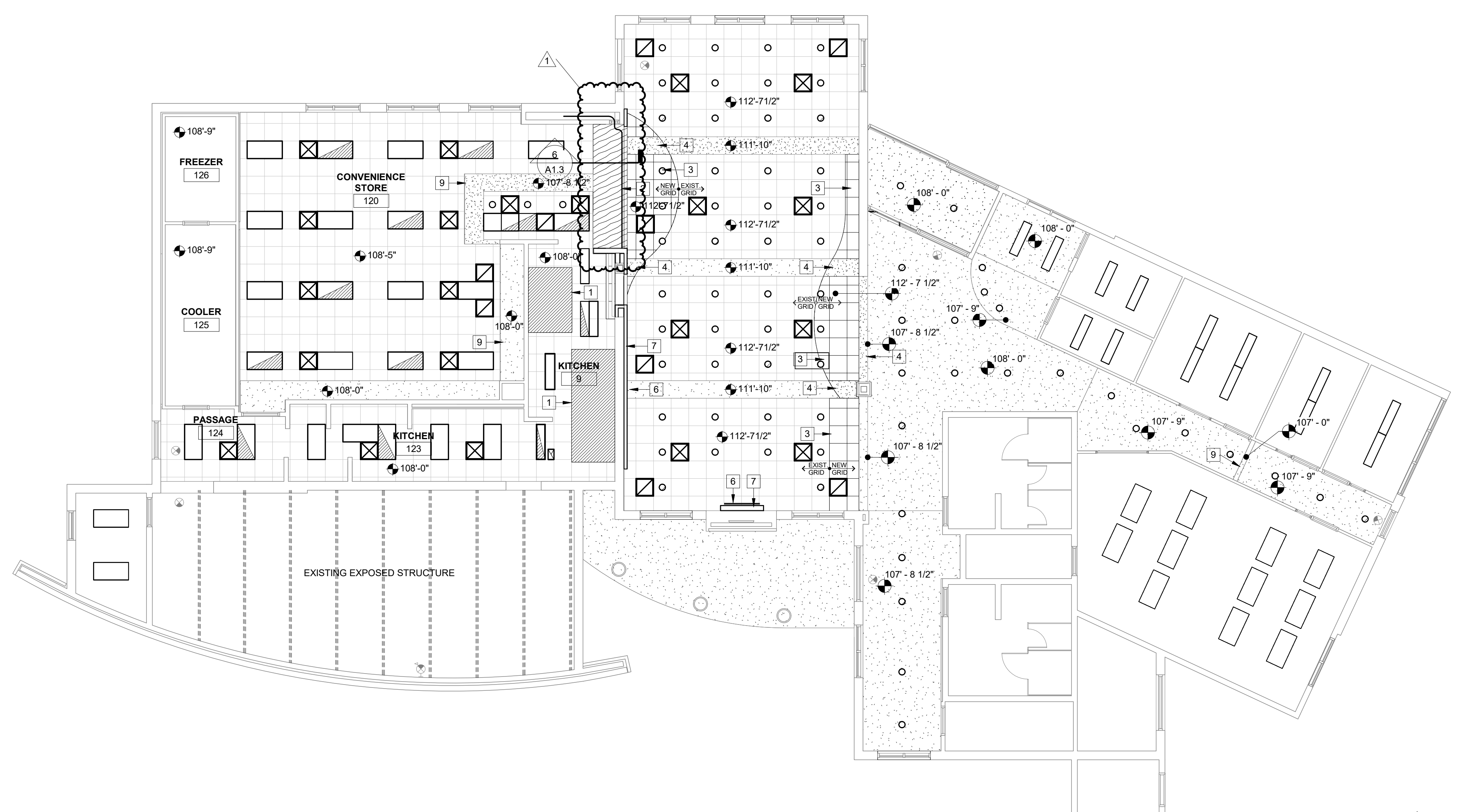
- 1 EXISTING EXHAUST HOOD
- 2 EXISTING SECURITY SCREEN & TRACK TO REMAIN
- 3 NEW CEILING TILE & GRID TO MATCH EXISTING, MATCH HEIGHT OF EXISTING
- 4 NEW BULKHEAD TO MATCH EXISTING, MATCH HEIGHT OF EXISTING
- 5 XXXXXXXXXXXXX
- 6 NEW VIDEO MONITOR, BY OWNER - INSTALLED BY OWNER
- 7 NEW WALL - 3 5/8" MTL. STUD FRAMING @ 16" O.C.W/ 5/8" GYPSUM BOARD, ONE SIDE
- 8 XXXXXXXXXXXXX
- 9 EXISTING BULKHEAD TO REMAIN, PATCH, REPAIR AND PAINT, AS REQUIRED
- 10 NEW GYPSUM BOARD CEILING ON 3 5/8" MTL. STUD FRAMING

**GENERAL RCP NOTES:**

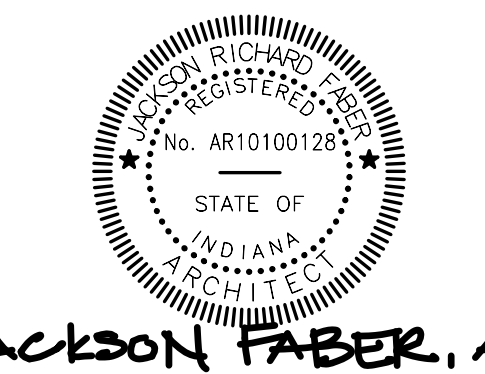
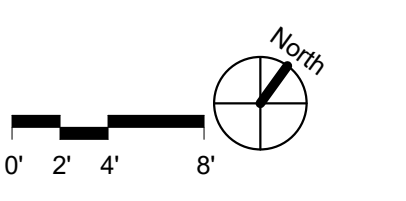
- A. CEILING AND SOFFIT HEIGHTS ARE NOTED FROM THEIR RESPECTIVE FLOOR ELEVATIONS.
- B. PROVIDE CONTROL JOINT IN GYPSUM BOARD CONSTRUCTION WHERE INDICATED. IF NOT INDICATED, GYPSUM CONSTRUCTION SHOULD BE ISOLATED WITH CONTROL JOINTS WHERE (A) PARTITION, FLOORING, SOFFIT, BULKHEAD OR CEILING, (B) CONSTRUCTION CHANGED WITHIN PLANE OF PARTITION OR CEILING, (C) PARTITION, FLOORING, SOFFIT, BULKHEAD OR CEILING RUN EXCEEDS 30'-0", (D) AS NOTED.
- C. BULKHEADS SHALL BE DIAGONALLY BRACED TO FLOOR DECK WITH METAL STUDS AT 4'-0" O.C. MINIMUM.
- D. MINIMUM DISTANCE FROM EDGE OF WALL TO SUSPENDED CEILING TILE GRID SHALL BE 6", UNLESS NOTED OTHERWISE.
- E. SUSPENDED ACOUSTICAL PANEL CEILING AREAS IN EXCESS OF 144 SF SHALL BE CONSTRUCTED OF HEAVY-DUTY RATED SUSPENSION SYSTEMS AND SHALL COMPLY WITH DETAIL SEISMIC EDGE DETAIL.
- F. ALL TRADES SHALL PARTICIPATE IN A COORDINATION MEETING PRIOR TO ANY INSTALLATION OF ABOVE CEILING SYSTEMS, SERVICES, ETC. DURING THE SHOP DRAWING PHASE.
- G. ALL CEILING MOUNTED DEVICES ARE TO BE CENTERED IN THE FULL PANELS IN ALL DIRECTIONS.
- H. THE REFLECTED CEILING PLANS DO NOT INDICATE THE LIGHTING LAYOUT IN AREAS WITHOUT CEILING FINISHES. REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- I. ADJUST AND ADD TO EXISTING CEILING GRID, AS REQUIRED TO ACCOMMODATE NEW DIFFUSERS.

**REFLECTED CEILING PLAN SYMBOLS**

- 2'-0" x 2'-0" SUSPENDED ACOUSTICAL CEILING PANELS
- GYPSUM BOARD CEILING
- 2' x 4' LIGHT FIXTURE
- 2' x 2' LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE
- OCCUPANCY SENSOR
- 1 x 4' LIGHT FIXTURE
- EXIT FIXTURE
- FINISH HEIGHT OF CEILING / SOFFIT A.F.F.
- HVAC RETURN AIR
- HVAC SUPPLY DIFFUSER
- EJ EXPANSION JOINT



**REFLECTED CEILING PLAN**  
1/8" = 1'-0"



Revisions:	Description	Date
1	Addendum #1	04/26/2024

Designed By: \_\_\_\_\_ Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

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Sheet title:

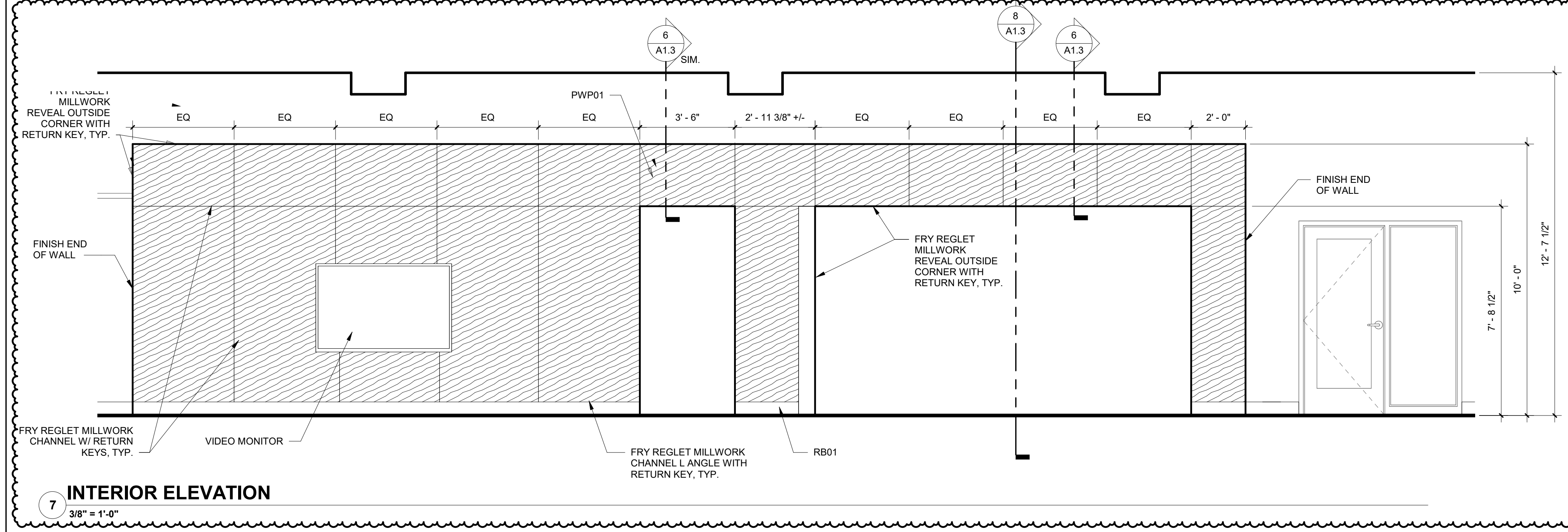
**REFLECTED CEILING PLAN**

Architect's Project No: 2312-357 Date: APRIL, 2024

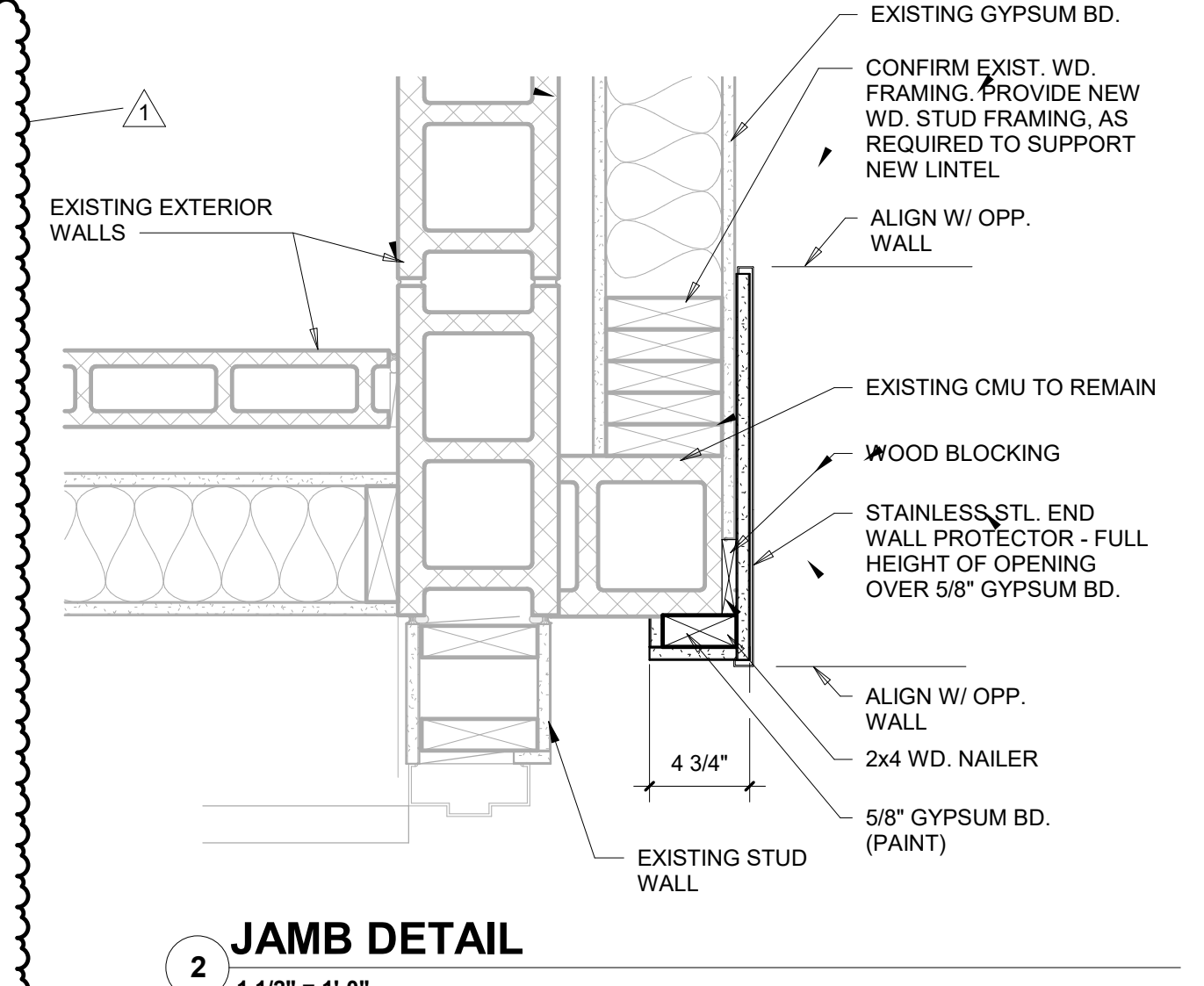
Drawing No: \_\_\_\_\_

**A1.2**

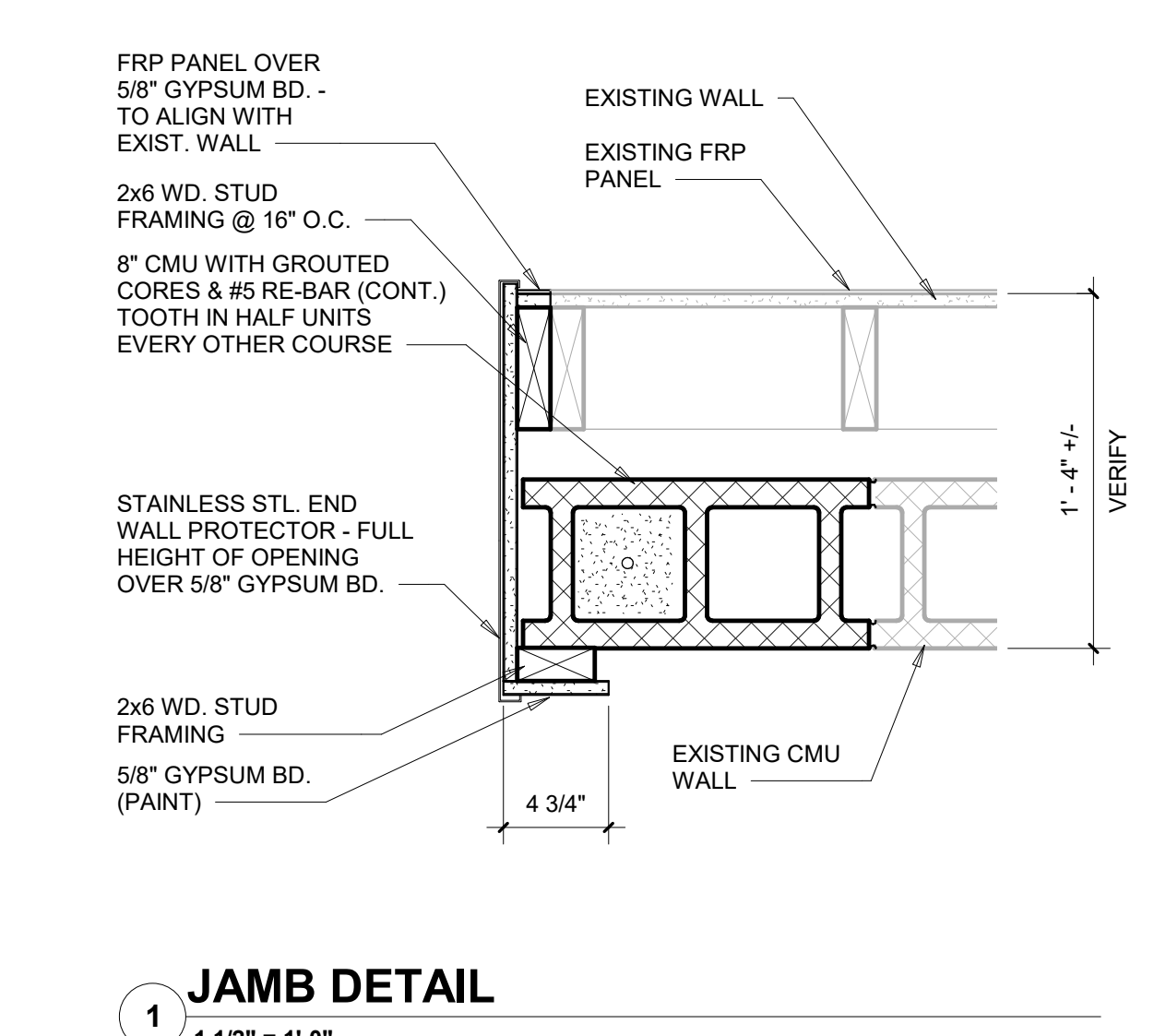




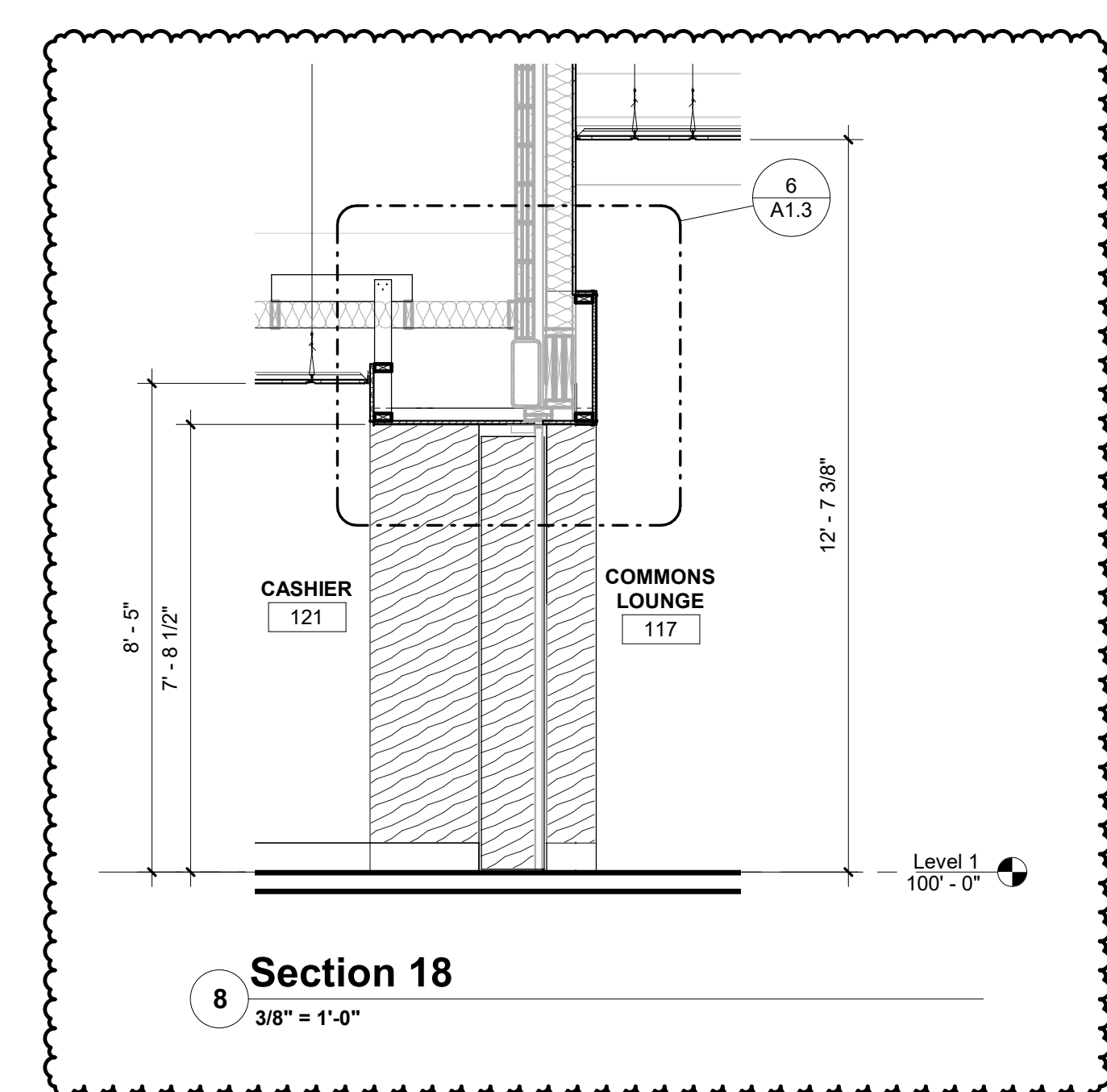
**7 INTERIOR ELEVATION**  
3/8" = 1'-0"



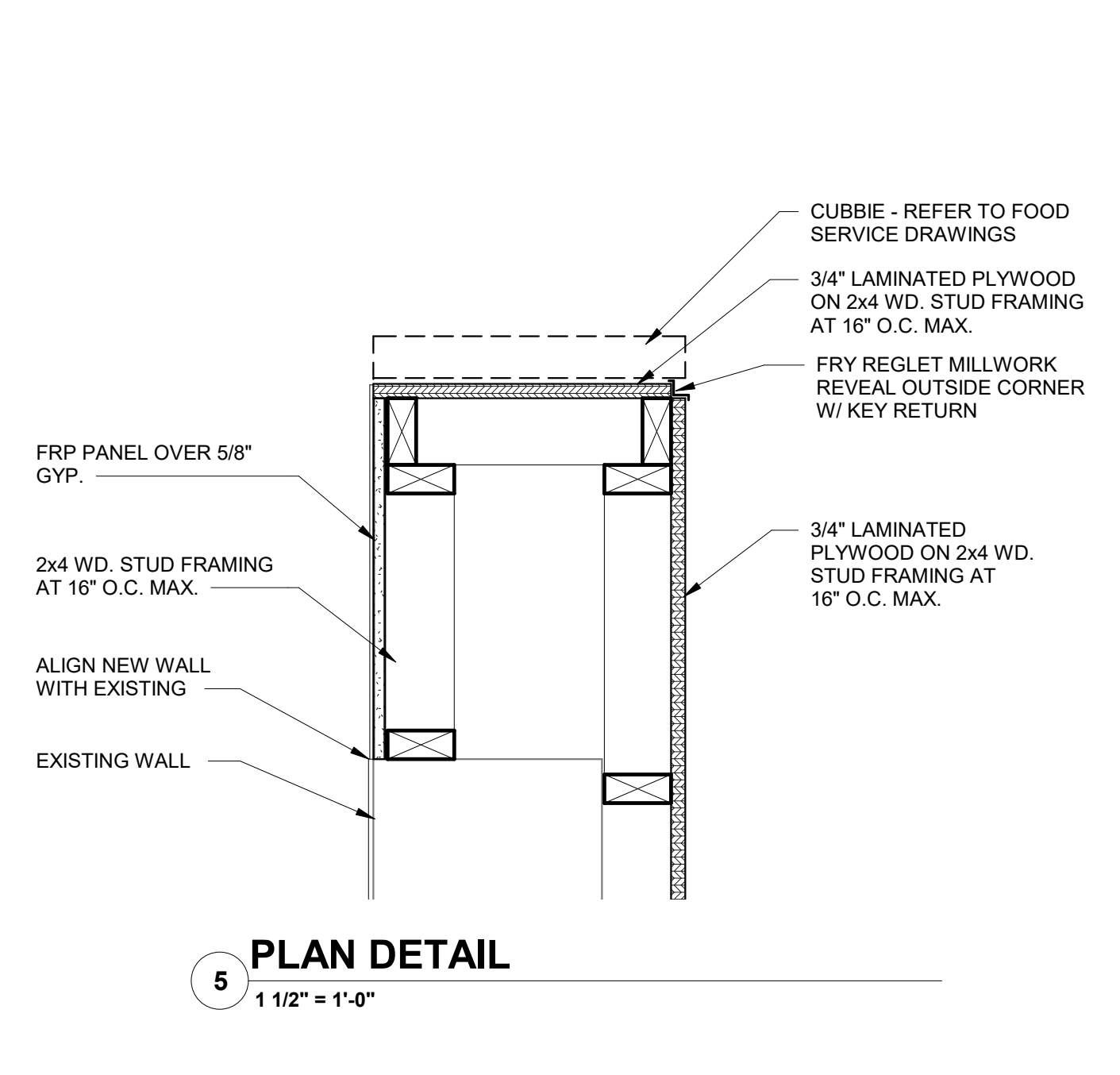
**2 JAMB DETAIL**  
1 1/2" = 1'-0"



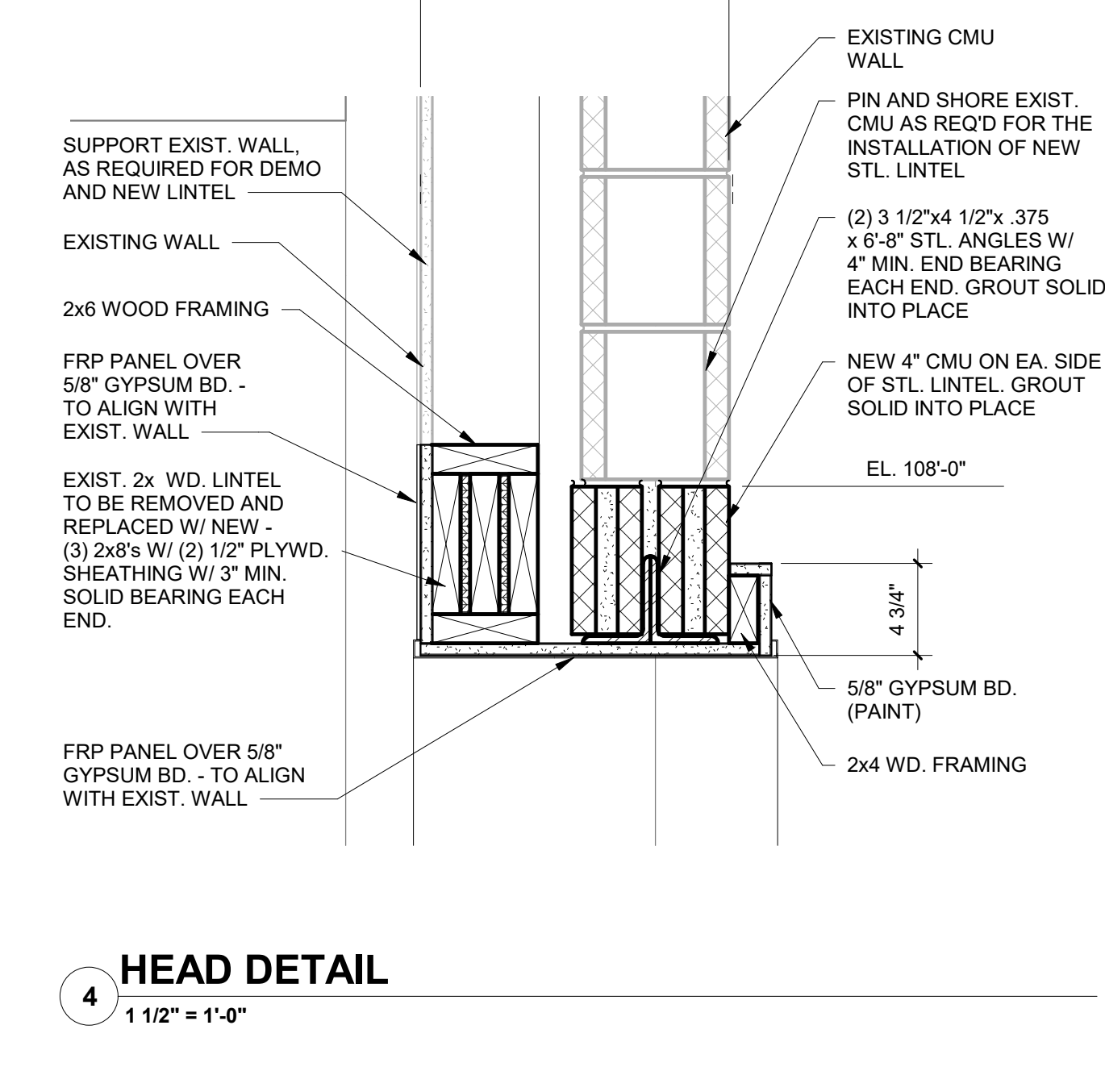
**1 JAMB DETAIL**  
1 1/2" = 1'-0"



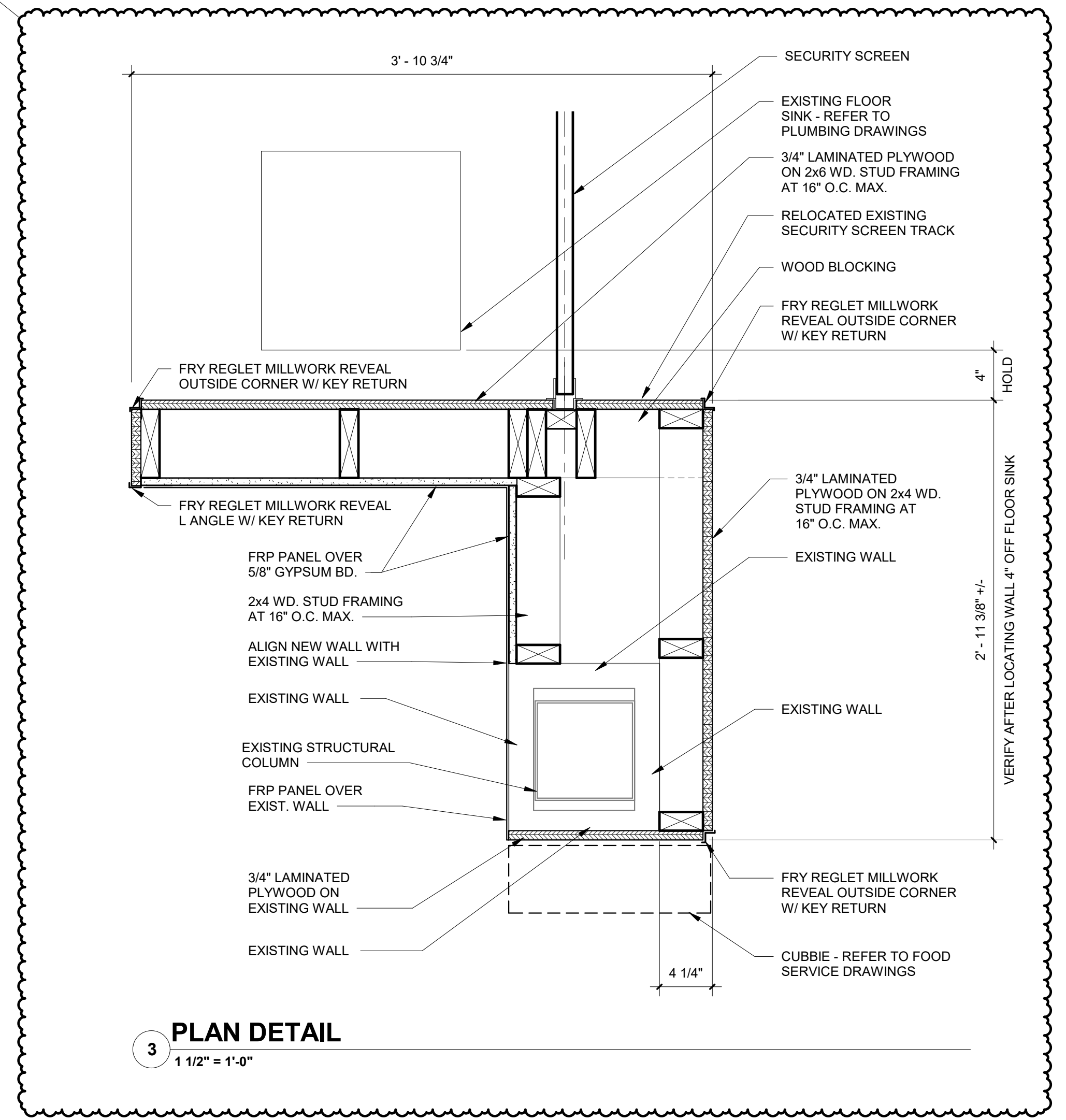
**8 Section 18**  
3/8" = 1'-0"



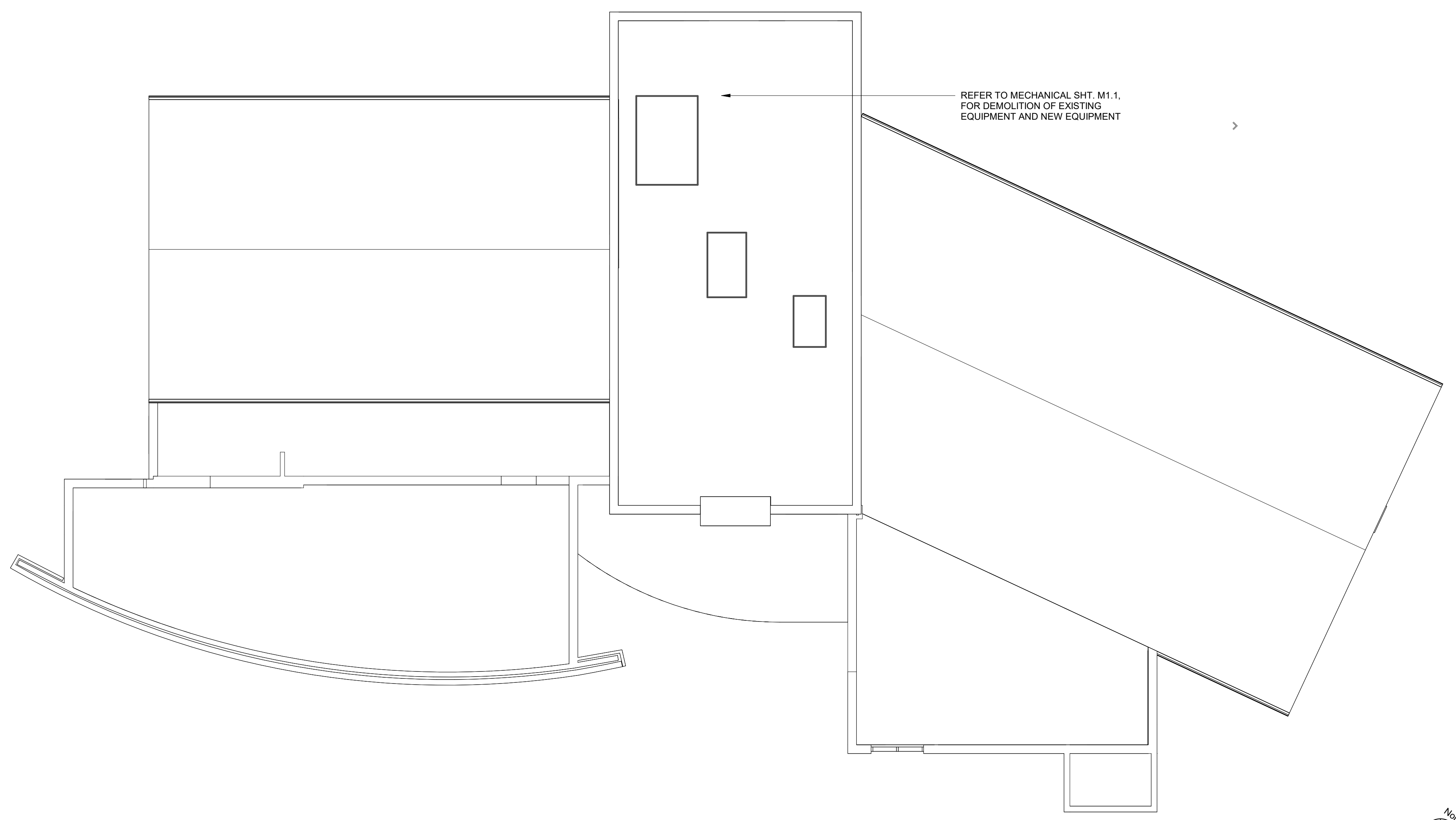
**5 PLAN DETAIL**  
1 1/2" = 1'-0"



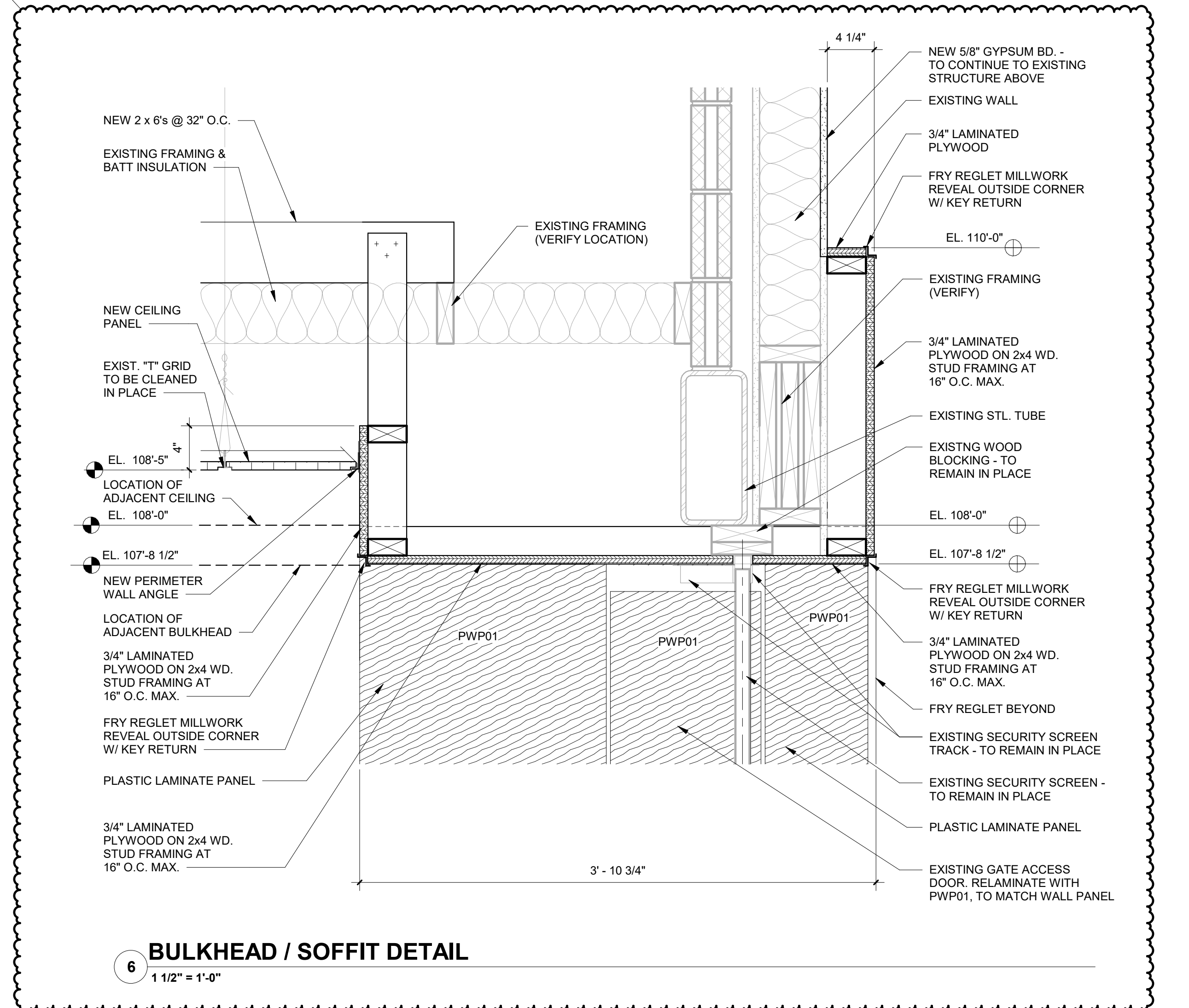
**4 HEAD DETAIL**  
1 1/2" = 1'-0"



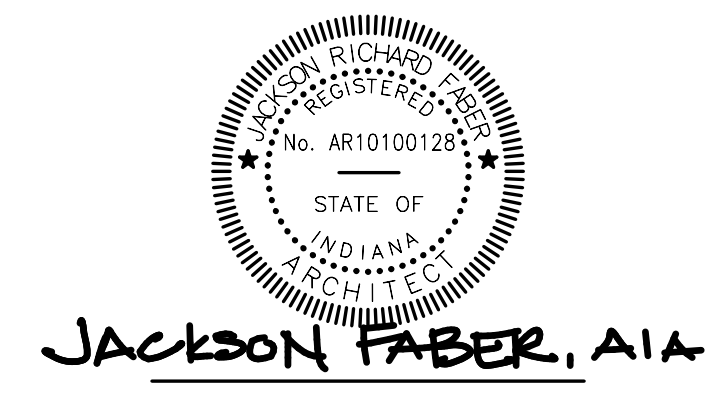
**3 PLAN DETAIL**  
1 1/2" = 1'-0"



**ROOF PLAN**  
1/8" = 1'-0"



**6 BULKHEAD / SOFFIT DETAIL**  
1 1/2" = 1'-0"



Revisions:		
#	Description	Date
1	Addendum #1	04/26/2024

Designed By: \_\_\_\_\_ Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

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Sheet title:

**ROOF PLAN & DETAILS**

Architect's Project No: **2312-357** Date: **APRIL, 2024**

Drawing No: \_\_\_\_\_

**A1.3**

EAGLE EXPRESS  
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RENOVATION



8600 University Blvd.  
Evansville, Indiana 47712

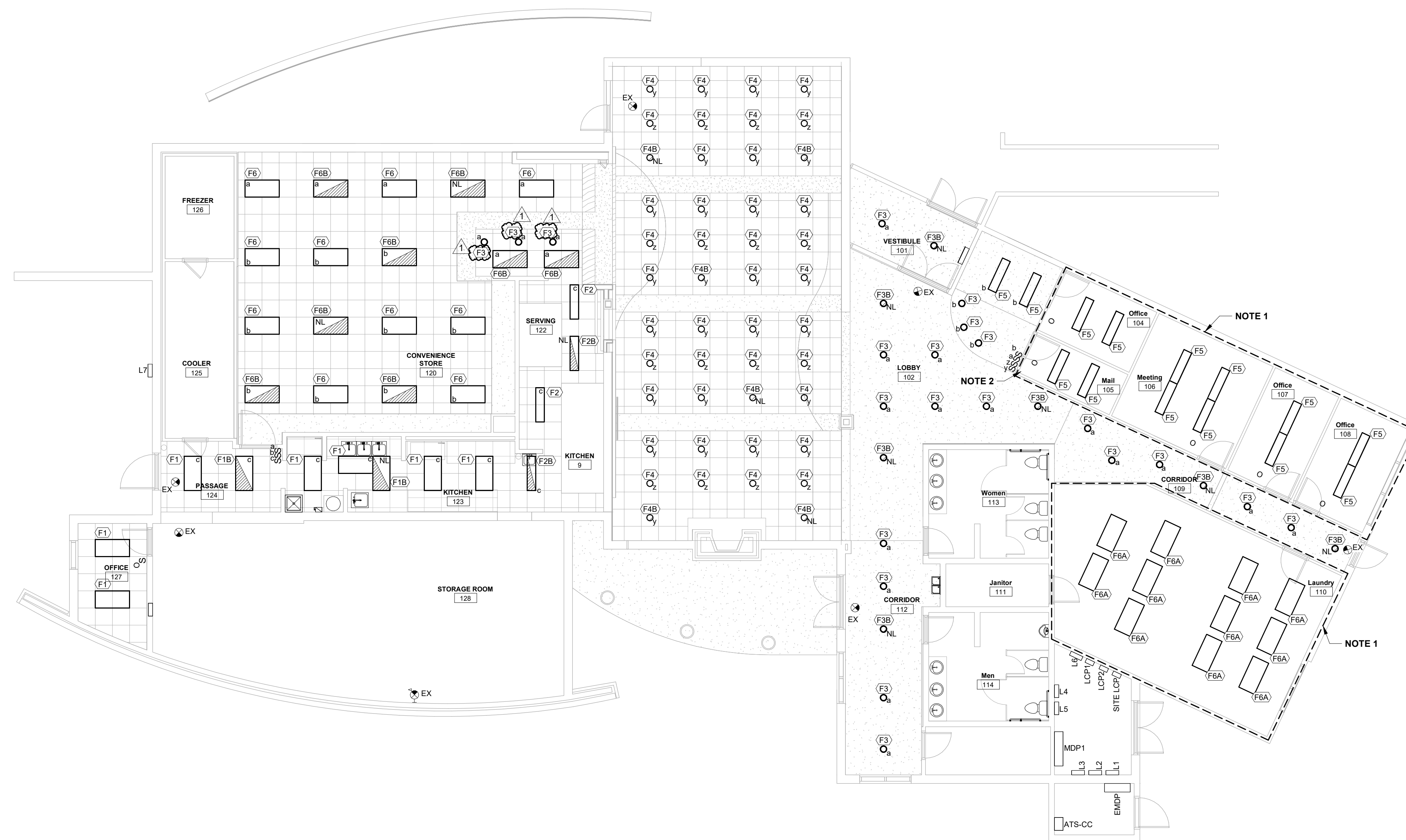
**HAFFER**  
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**GENERAL NOTES:**

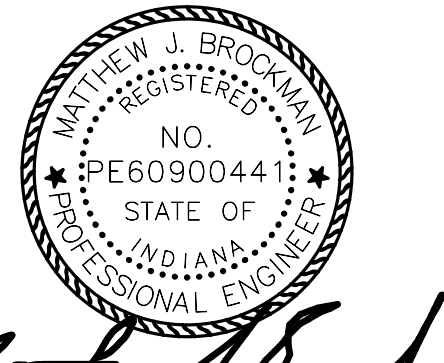
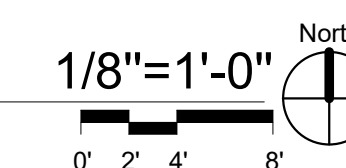
A. UTILIZE EXISTING BRANCH CIRCUIT(S) WHICH SERVED LIGHTING IN AREA PRIOR TO DEMOLITION. EXTEND AND REMOVED EXISTING CIRCUITS AS REQUIRED FOR CONTROL OF FIXTURES AS INDICATED. IF SWITCH DESCRIPTION NOT GIVEN, LIGHTING CONTROL SWITCH SHALL CONTROL LIGHTING WITHIN ROOM.

**NOTES:**

1. AREA WITHIN DETAIL LINE PART OF ALTERNATE #1 "LIGHTING FIXTURE REPLACEMENT". UTILIZE EXISTING BRANCH CIRCUIT THAT SERVED LIGHTING IN AREA PRIOR TO START OF DEMOLITION.
2. SWITCH FOR CONTROL OF EXTERIOR DOWNLIGHT FIXTURES AT SOUTH ENTRANCE.



**FIRST FLOOR LIGHTING PLAN**  
1/8" = 1'-0"



*Matthew J. Brockmeyer*  
04/15/2024

Revisions:		
#	Description	Date
1	ADD #001	04/26/2024

Designed By: ZWS  
Drawn By: CJS  
Checked By: ZWS

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Sheet title:  
**LIGHTING PLAN**

Architect's Project No: 2312-357  
Date: April, 2024

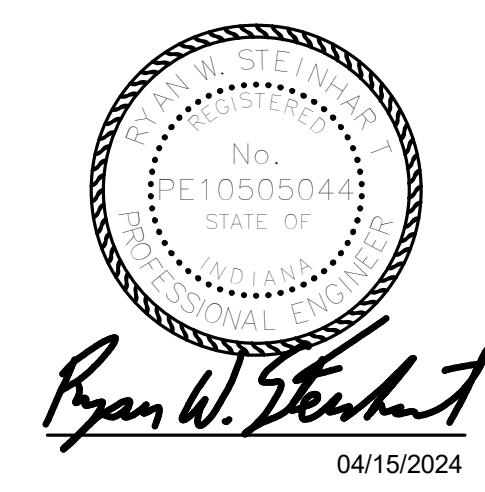
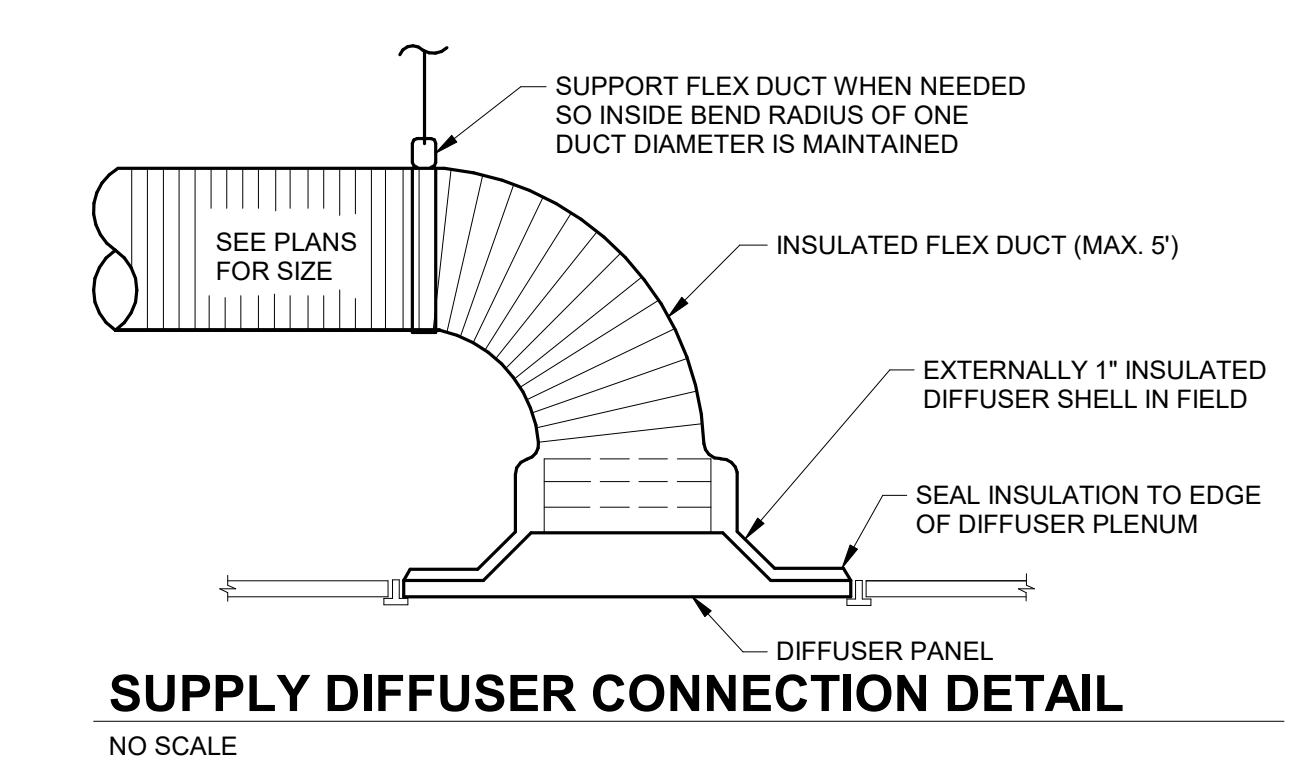
Drawing No:  
**E3.1**

GRILLES AND DIFFUSERS SCHEDULE											
SYMBOL	MANUF.	MODEL	TYPE	FACE SIZE	CORE TYPE	INLET SIZE	MAX. CFM	THROW FEET	PRESSURE DROP(IN.)	SOUND N.C.	REMARKS
S-1	PRICE	ASPD	LAY-IN	24"x24"	PLAQUE	8"	245	8	0.06	<20	
S-2	PRICE	ASPD	LAY-IN	24"x24"	PLAQUE	10"	380	10	0.09	<20	
S-3	PRICE	JS230	LAY-IN	24"x14"	LINEAR SLOT	12"	595	37	0.09	<20	(2) 3" SLOTS, PLENUM. PROVIDE WITH FACTORY INSULATED PLENUM
R-1	PRICE	81	LAY-IN	24"x24"	EGGCRATE	22"x22"	1860	-	0.05	20	1/2"x1/2"x 1" ALUMINUM GRID, NOTE 5

NOTES:  
1. THROW DATA FOR SQUARE DIFFUSERS ARE BASED ON 4-WAY THROW TERMINAL VELOCITY AT 50 FPM.  
2. PROVIDE APPROPRIATE MOUNTING HARDWARE FOR FLUSH MOUNTED FRAMES WHERE REQUIRED. SEE REFLECTED CEILING PLANS FOR TYPE OF CEILING.  
3. NO SCREWS SHALL BE IN THE FACE OF LINEAR SLOT DIFFUSERS.  
4. LINEAR BAR AND LINEAR SLOT DIFFUSER LENGTHS SHALL BE VERIFIED AS SHOWN ON FLOOR PLANS. FIELD VERIFY EXACT LENGTHS.  
5. PROVIDE INSULATED 22"x22" PLENUM CONNECTION TO GRILLE, EXISTING DUCT TO CONNECT ON TOP OF PLENUM. PAINT INSIDE OF PLENUM FLAT BLACK.

ROOFTOP UNIT SCHEDULE																																
MARK	NOMINAL TONS	FAN DATA				MOTOR DATA			COOLING DATA						MAX AMB TEMP (°F)	MIN AMB TEMP (°F)	EER (SEER /EER)	NATURAL GAS HEATING DATA					ELECTRICAL DATA				FILTER TYPE	UNIT WEIGHT (LBS)	MANUFACTURER #/ MODEL #	NOTES		
		AIRFLOW (CFM)	ESP (IN.)	MIN OA (°F)	DRIVE	RPM	BHP	TOTAL MBH	SENS MBH	EAT (°F)	LAT (°F)	DP	VP	OP				VP	GROSS INPUT (MBH)	MIN AFUE	EAT (°F)	STAGES	1ST STAGE OUTPUT (MBH)	RISE (°F)	2ND STAGE OUTPUT (MBH)	RISE (°F)					VOLTS	MCA
RTU-1	12.5	5000	0.5	840	DIRECT	1507	1.71	155.06	115.59	80	67	58.6	57.2	95	5	12.0/16.5	224	80	70.0	2	146	27	181	33.5	208	60	80	3	2" MERV-13	1,487	CARRIER 48GCEM14A2M5-3W5CO	1,2,3,4
RTU-2	4	1400	0.5	80	DIRECT	1804	0.63	47.51	32.19	80	67	58.7	56.2	95	5	14.0/-	67	80	70.0	1	54	35.7	-	-	208	24	30	3	2" MERV-13	600	CARRIER 48FCDA05D1M5-3W5CO	1,3,4
RTU-4	10	3900	0.5	900	DIRECT	1848	2.22	125.23	94.81	80	67	57.5	56.9	95	5	11.0/15.0	250	80	70.0	2	164.0	39.0	205.0	48.7	208	45	60	3	2" MERV-13	996	CARRIER 48FCFM12D2M5-3W5CO	1,2,3,4

NOTES:  
1. PROVIDE ENTHALPY ECONOMIZER AND BAROMETRIC RELIEF DAMPER, HIGH STATIC FAN MOTOR  
2. PROVIDE RA & SA SMOKE DETECTOR.  
3. PROVIDE HAIL GUARD, NON-FUSED DISCONNECT, AND THERMOSTAT WITH LOCKABLE COVER.  
4. PROVIDE HINGED ACCESS PANEL AND POWERED CONVENIENCE OUTLET.



Revisions:		
#	Description	Date
1	ADD-001	04/26/2024

Designed By: RWS      Drawn By: CLB      Checked By: RWS

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Sheet title:  
**HVAC DETAILS AND SCHEDULES**

Architect's Project No: 2312-357      Date: April, 2024

Drawing No:  
**M2.1**