

Garrison Interior Remodel Projects

INDIANA DEPARTMENT OF NATURAL RESOURCES

FORT HARRISON STATE PARK

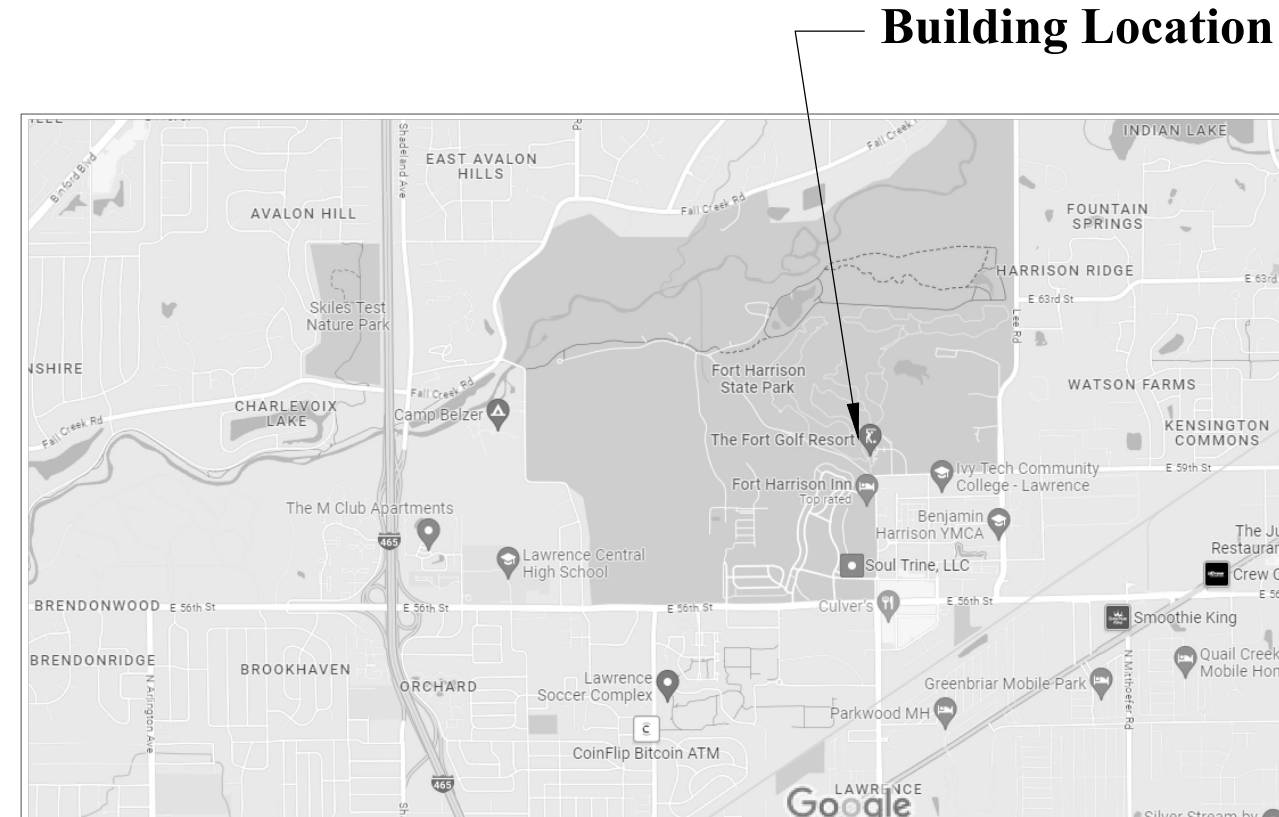
PROJECT NO. ENG2403779005

LOCATION MAP



NO SCALE

VICINITY MAP



GENERAL NOTES:

1. BIDDERS SHALL FULLY REVIEW THE PROJECT DOCUMENTS AND VISIT THE PROJECT SITE TO BECOME COMPLETELY FAMILIAR WITH THE SCOPE OF WORK, INCLUDING EXISTING CONDITIONS AND MATERIALS, PRIOR TO BIDDING.
2. THE INTENTION OF THESE DOCUMENTS IS TO PROVIDE THE OWNER WITH A COMPLETE PROJECT IN ITS ENTIRETY AT THE TIME OF OCCUPANCY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE ARCHITECT DURING THE BIDDING PHASE WITH ANY DETAILS THAT ARE MISSING, VAGUE, OR INCOMPLETE SO THAT THE APPROPRIATE ADDENDUM CAN BE ISSUED. THE CONTRACTOR OF RECORD SHALL PROVIDE ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, AND SERVICES NECESSARY FOR A COMPLETE, FUNCTIONAL, AND OPERATIONAL FACILITY OR PROJECT.
3. MATERIALS AND WORK SHALL BE FURNISHED, INSTALLED, AND COMPLETED IN STRICT ACCORDANCE WITH PROVISIONS OF THE LATEST EDITION OF APPLICABLE BUILDING CODES, AMENDMENTS, ADOPTED STANDARDS, REGULATIONS, LOCAL ORDINANCES, AND FEDERAL LEGISLATION.
4. THESE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
5. THE MINIMUM QUALITY OF WORK SHALL BE BASED ON INDUSTRY STANDARDS FOR RESPECTIVE TRADES (I.E. ANSI, AHRAE, ASTM, AWI, BHMA, DHI, GYPSUM ASSOCIATION (GA), NFPA, SMACNA, ETC.) WHERE ONE OR MORE OF THE STANDARDS ARE IN CONFLICT, THE BETTER QUALITY OF WORK SHALL APPLY.
6. THE WORD "PROVIDE" MEANS "TO FURNISH AND INSTALL"
7. UNLESS NOTED OTHERWISE DIMENSIONS ARE FROM FACE OF CONCRETE, STUD, OR FRAMING. DIMENSIONS ARE SHOWN ON DRAWINGS. ANY DIMENSIONS THAT ARE NOT SHOWN OR DEEMED QUESTIONABLE SHALL BE VERIFIED WITH ARCHITECT. DO NOT SCALE DRAWINGS.
8. NO GREATER THAN 1/2" CHANGE IN ELEVATION ALLOWED AT HANICAPPED ENTRANCES.
9. PROVIDE WOOD BLOCKING SUPPORT AT ALL SURFACE MOUNTED ITEMS MOUNTED TO THE FACE OF GYPSUM WALLBOARD.
10. PROVIDE MISCELLANEOUS SUPPORT FOR ALL CEILING SUPPORTED ITEMS AND ANY OTHER ITEMS REQUIRING MISCELLANEOUS SUPPORT.
11. CAULK JUNCTURES BETWEEN DIFFERENT MATERIALS ALONG WITH ANY AND ALL PENETRATIONS TO SEAL AGAINST ANY TYPE OF ENERGY LOSS.
12. THE G.C. SHALL MAINTAIN THE LATEST ISSUE OF STAMPED AND SIGNED PLANS CONTAINING ALL SHEETS AS LISTED IN THE SHEET INDEX ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
13. THE G.C. ALL OTHER CONTRACTORS, AND ALL SUB-CONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL ADJACENT WORK AND SHALL COORDINATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK AND FOR THE STORAGE OF THEIR MATERIALS.

PROJECT INFORMATION

BUILDING ADDRESS: GARRISON AT FORT HARRISON STATE PARK
6002 N POST RD
INDIANAPOLIS, IN 46216
(317) 638-6000

COUNTY: MARION

BUILDING CODE

BUILDING CODE EDITION: 2014 INDIANA BUILDING CODE (2012 IBC)

MECHANICAL CODE EDITION: 2014 INDIANA MECHANICAL CODE (2012 IMC)

ELECTRICAL CODE EDITION: 2009 INDIANA ELECTRICAL CODE (NFPA 70-2008)

FIRE PREVENTION CODE: 2014 INDIANA FIRE CODE (2012 IFI)

PLUMBING CODE EDITION: 2012 IPC W/ INDIANA AMMENDMENTS

ACCESSIBILITY CODE: 2014 INDIANA ACCESSIBILITY CODE

ENERGY CODE: INDIANA ENERGY CONSERVATION CODE
ANSI/ASHRAE 90.1 2007)

DRAWINGS INDEX

- G-1 DRAWINGS INDEX, LOCATION MAP, LIFE SAFETY PLAN
- D-1 DEMOLITION PLAN
- A-1 FLOOR PLAN / PLUMBING
- A-2 REFLECTED CEILING PLAN / LIGHTING / HVAC
- A-3 INTERIOR ELEVATIONS / TILE PATTERNS
- A-4 KITCHEN FLOORING PLAN

DESIGNERS OF RECORD

ARCHITECTURAL: STATE OF INDIANA
MECHANICAL: DEPARTMENT OF NATURAL RESOURCES
ELECTRICAL: DIVISION OF ENGINEERING
PLUMBING: ROOM W299, INDIANA GOVERNMENT CENTER SOUTH

Garrison Interior Remodeling
Fort Harrison State Park
DEPT. OF NATURAL RESOURCES
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Indianapolis, IN 46216



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DIVISION OF ENGINEERING
ROOM W299, INDIANA GOVERNMENT CENTER SOUTH
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TEL 317-232-4150, FAX 317-231-1205

ADA NOTES:

4.19 LAVATORIES AND MIRRORS

4.19.1 GENERAL. THE REQUIREMENTS OF 4.19 SHALL APPLY TO LAVATORY FIXTURES, VANITIES, AND BUILT-IN LAVATORIES

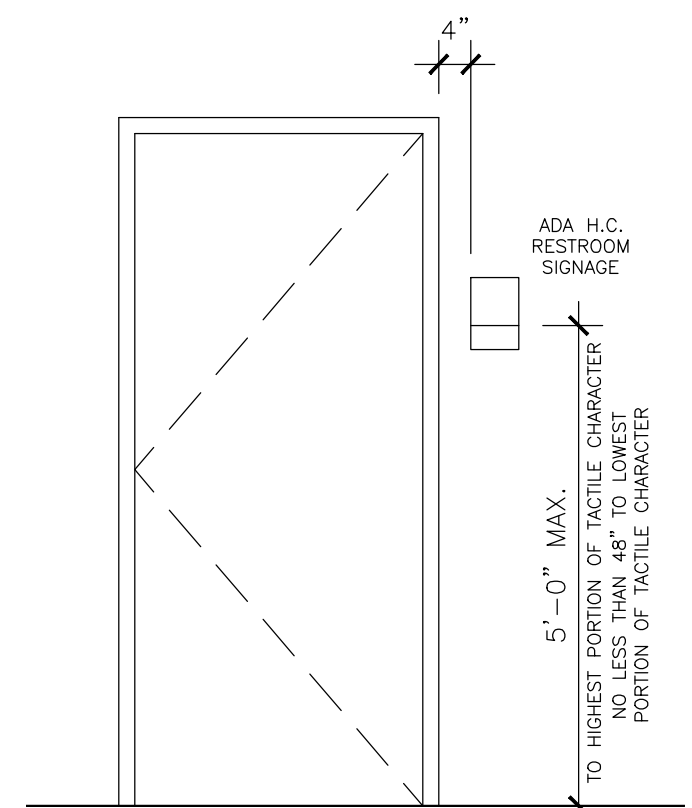
4.19.2 HEIGHT AND CLEARANCES. LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34" ABOVE FINISH FLOOR. PROVIDE A CLEARANCE OF AT LEAST 29" ABOVE THE FINISH FLOOR TO THE BOTTOM OF THE APRON. KNEE AND TOE CLEARANCE SHALL COMPLY WITH FIGURE 31.

4.19.3 CLEAR FLOOR SPACE. A CLEAR FLOOR SPACE 30" BY 48" COMPLYING WITH 4.2.4 SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND A MAXIMUM OF 19" UNDERNEATH THE LAVATORY (SEE FIGURE 32)

4.19.4 EXPOSED PIPES AND SURFACES. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

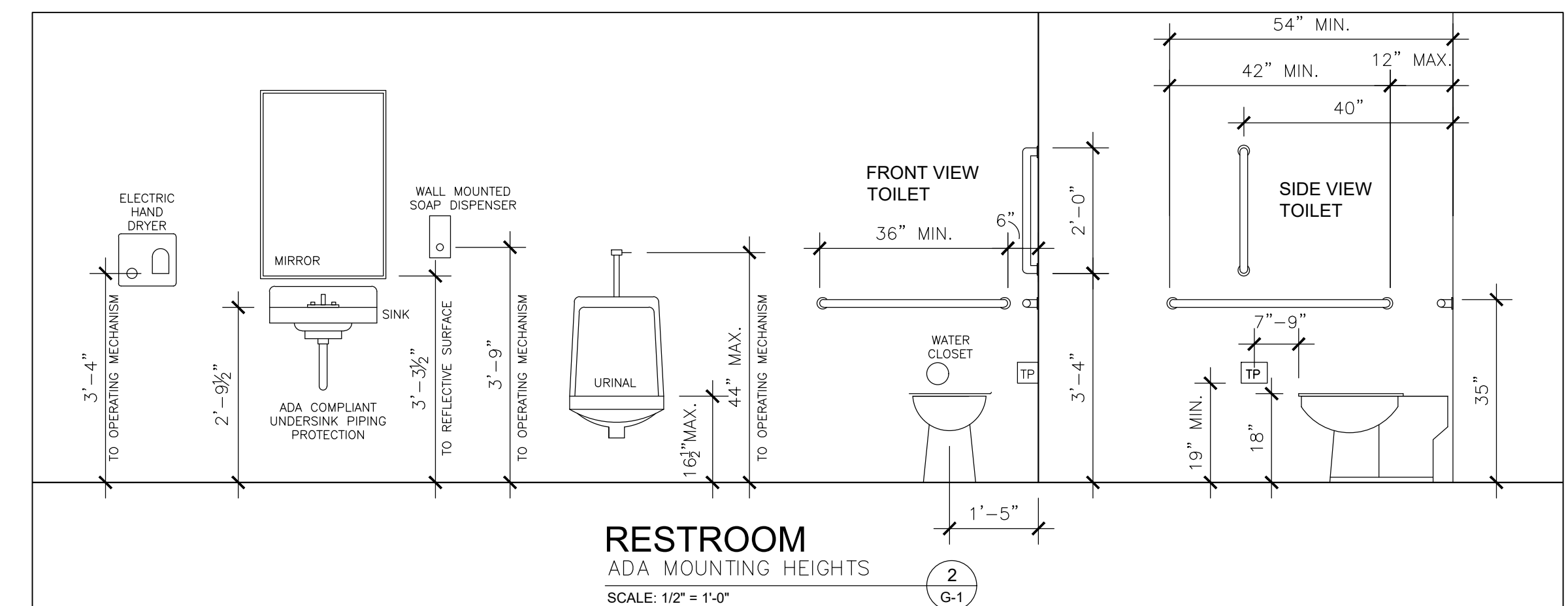
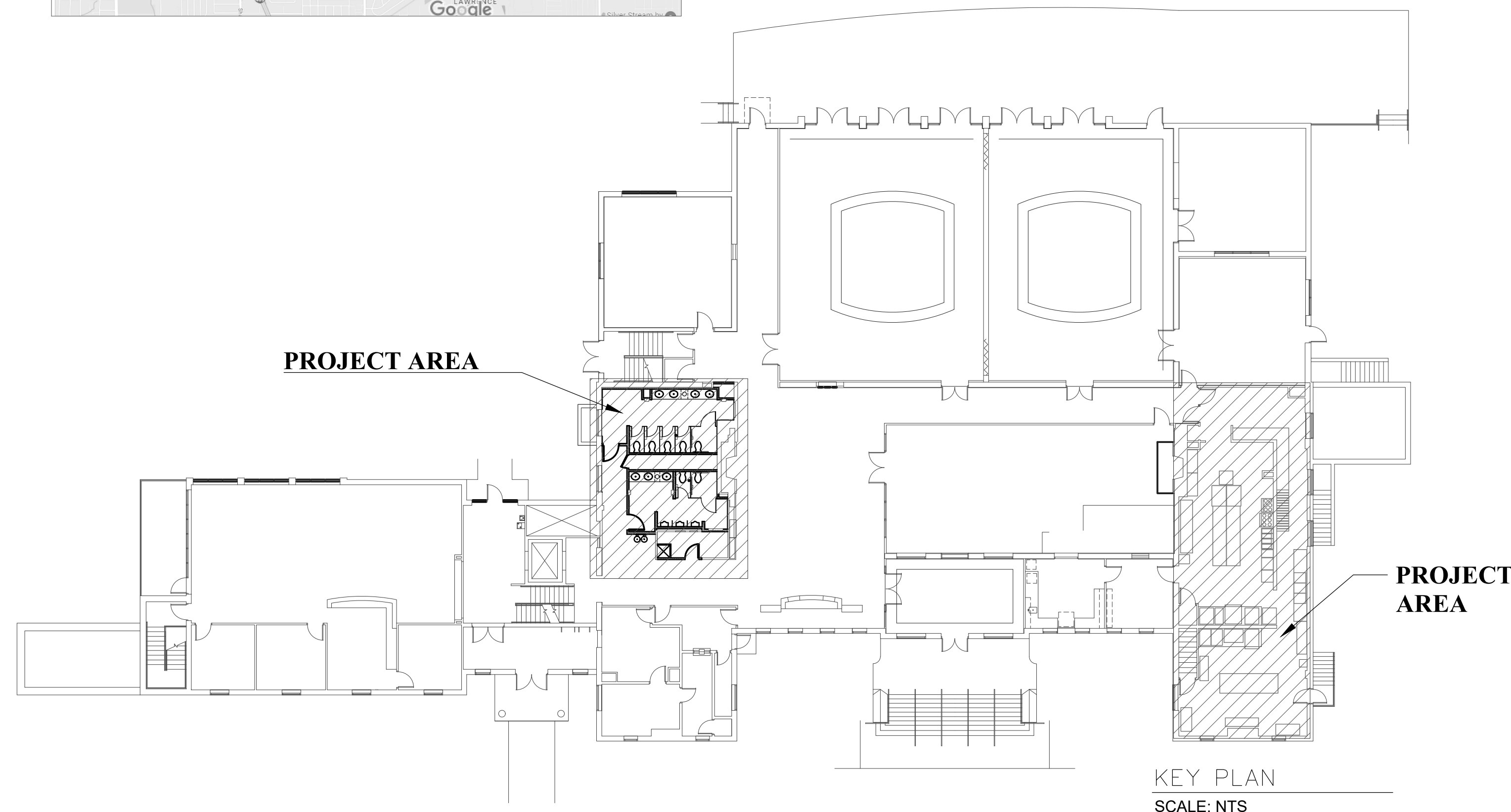
4.19.5 FAUCETS. FAUCETS SHALL COMPLY WITH 4.27.4. LEVER OPERATED, PUSH TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF CLOSING VALVES ARE USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.

4.19.6 MIRRORS. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE NO HIGHER THAN 39 1/2" ABOVE THE FINISH FLOOR



ADA SIGNAGE LOCATION
SCALE: 1/2" = 1'-0"

1
G-1



Revisions:

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Drafter: Drawing Scale: AS NOTED

DNR Approval:

Client Approval:

File Number: XXX-XXX

Drawing Number: G-1

Sheet: 1 of 6

GENERAL DEMOLITION NOTES:

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION AND NOTIFY THE OWNER IN CASE OF DISCREPANCIES PRIOR TO WORK BEING PREFROMED. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL AND ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT.

DEMOLITION CONTRACTOR TO COORDINATE AND REVIEW ALL CONSTRUCTION DOCUMENTS AND DETERMINE THE EXTEND TO OF DEMOLITION WORK AND BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING THE BID.

OWNER SHALL BE NOTIFIED OF THE REMOVAL OF ANY ITEM REQUIRED BY THE REMODEL, BUT NOT INDICATED ON THE DRAWINGS SO THAT A REPLACEMENT CAN BE SPECIFIED.

TEMPORARY PROTECTION: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT PORTIONS OF BUILDING AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA AND TO AND FROM THE BUILDING.

PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS.

TEMPORARY PROTECTION: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT PORTIONS OF BUILDING AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA AND TO AND FROM THE BUILDING.

PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING SELECTIVE DEMOLITION OPERATIONS.

COVER AND PROTECT EXISTING FIBER OPTICS AND RELATED INFORMATION TECHNOLOGY.

TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND DISPOSE OF THEM IN AN EPA-APPROVED CONSTRUCTION AND DEMOLITION WASTE LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

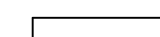

DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.

REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.

BURNING: DO NOT BURN DEMOLISHED MATERIALS.

CLEAN ADJACENT AREAS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

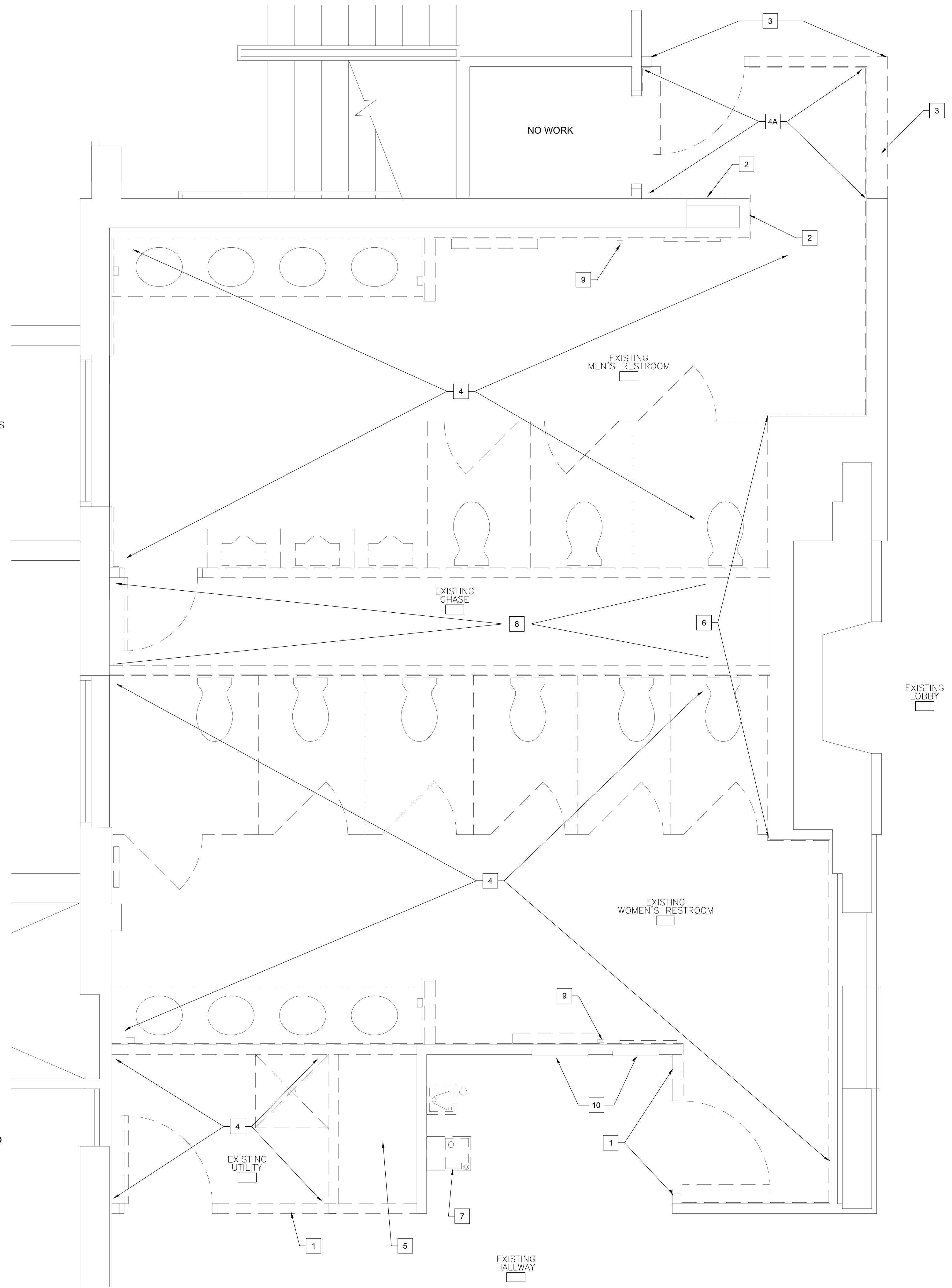
WALL LEGEND

-  — EXISTING WALL TO REMAIN
-  — EXISTING WALLS / ITEMS TO BE REMOVED

DEMO PLAN KEYNOTES:

REFER TO CEILING PLAN ON A-2 FOR MORE INFORMATION

- 1** REMOVE EXISTING WALL COMPLETELY INCLUDING DOOR AND FRAME.
- 2** REMOVE EXISTING WALL FINISHES.
- 3** REMOVE EXISTING WALL COMPLETELY INCLUDING DOOR AND FRAME. CONTRACTOR TO VERIFY NO STRUCTURAL COMPONENTS ARE AFFECTED BY REMOVAL.
- 4** RESTROOM AND UTILITY ROOM DEMOLITION TO INCLUDE REMOVAL OF ALL PLUMBING FIXTURES, PARTITIONS, ACCESSORIES, FLOORING, DAMAGED SUBFLOORING, WALL FINISHES, WALL BACKER BOARD, AND CEILINGS. REFER TO A-2 FOR MORE CEILING DEMO INFORMATION.
ALTERNATE #1: REMOVAL OF ALL SUBFLOORING FOR REPLACEMENT
- 4A** AREA IS SAME AS NOTE #4, WITH THE SUBFLOOR REMOVAL NOT REQUIRED IF ADEQUATE FOR NEW CARPET FINISH.
- 5** EXISTING CHASE TO BE REMOVED. CONTRACTOR TO VERIFY THE CHASE IS NOT NEEDED BEFORE REMOVAL. IF CHASE IS NEEDED, DO NOT DEMO.
- 6** REMOVE EXISTING WALL FINISHES AND BACKER BOARD.
NOTE: THE GOAL IN THIS AREA IS TO GAIN MORE SPACE WITHIN THE NEW RESTROOMS. DEMO EXISTING FRAMING IF SPACE CAN BE GAINED BY REMOVING THE EXISTING FRAMING AND APPLYING NEW FINISHES WITH THINNER FRAMING OR FURRING TO GAIN SPACE IN THE NEW RESTROOMS. ALL NEW FRAMING IS REQUIRED TO SUPPORT TILE FINISH.
- 7** REMOVE EXISTING WATER FOUNTAINS.
- 8** DEMOLITION WITHIN EXISTING CHASE AS NEEDED TO ACCOMMODATE NEW LAYOUT.
- 9** FIRE ALARM STROBE TO BE REMOVED AND RELOCATED AS PART OF NEW LAYOUT.
- 10** ELECTRICAL PANELS TO REMAIN.



DEMOLITION PLAN
SCALE: 1/2" = 1'-0"
1 D-1

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FINISH SCHEDULE						
#	ROOM NAME	FLOOR	BASE	WALL	CEILING	REMARKS
101	WOMEN'S RESTROOM	TILE	NONE	TILE / 1/2" GYP. BD. PAINT	1/2" GYP. BD. PAINT	
102	CHASE	NONE	NONE	NONE	NONE	
103	MEN'S RESTROOM	TILE	NONE	TILE	1/2" GYP. BD. PAINT	
104	UTILITY	VCT	RB	1/2" GYP. BD. PAINT	1/2" GYP. BD. PAINT	
105	WATER COOLER	TILE	TILE	1/2" GYP. BD. PAINT	1/2" GYP. BD. PAINT	
106	HALLWAY	TILE	TILE	1/2" GYP. BD. PAINT	1/2" GYP. BD. PAINT	

NOTES:

FLOOR TILE TO BE: ANATOLIA 12x24 IVORY MATTE RECTIFIED. REFER TO A-3 FOR PATTERN.
 WALL TILE TO BE: MILESTONE ONYX WHITE MATTE RECTIFIED. REFER TO A-3 FOR PATTERN.
 WALL ACCENT TILE TO BE: ANTHOLOGYFROST HERRINGBONE. REFER TO A-3 FOR PATTERN.
 WALL TILE BASE TO BE: MILESTONE ONYX WHITE MATTE 3x24 BULLNOSE
 TILE OUTSIDE CORNERS: SCHLUTER QUADEC OR EQUAL
 VCT: ARMSTRONG EXCELON OR EQUAL. COLOR TO BE CHOSEN FROM MANUFACTURER'S STANDARD COLORS.
 RUBBER BASE: ARMSTRONG COMMERCIAL 4" WALL BASE OR EQUAL. COLOR CHOSEN FROM MANUFACTURER'S STANDARD COLORS.

DOOR SCHEDULE					
MARK	SIZE	MATERIAL	FRAME	HARDWARE	
101	3'-0"x7'-0"	WOOD	HM		
102	2'-4"x7'-0"	WOOD	HM		
103	3'-0"x7'-0"	WOOD	HM		
104	3'-0"x7'-0"	WOOD	HM		

NOTES:
 DOORS: SOLID CORE, FIVE PLY FLUSH WOOD VENEER-FACED DOORS FOR TRANSPARENT FINISH. EXTRA HEAVY DUTY GRADE. MATCH EXISTING DOOR SPECIES AND FINISH.

WALL LEGEND

- ADA CLEARANCES
- EXISTING WALL TO REMAIN
- PERIMETER WALLS
 - EXISTING FRAMING (UNLESS NEW IS REQUIRED DUE TO DEMO)
 - 1/2" GYPSUM BOARD PAINTED
- PERIMETER WALLS
 - 3 5/8" METAL STUDS @ 16" O.C. (U.N.O.)
 - 5/8" CEMENT BOARD WITH TILE FINISH
- NEW WALL (BRACE TO STRUCTURE ABOVE)
 - 1/2" GYPSUM BOARD - PAINTED
 - 3 5/8" METAL STUDS @ 16" O.C. (U.N.O.)
 - 5/8" CEMENT BOARD WITH TILE FINISH
- NEW WALL (BRACE TO STRUCTURE ABOVE)
 - 5/8" CEMENT BOARD WITH TILE FINISH
 - 3 5/8" METAL STUDS @ 16" O.C. (U.N.O.)
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- NEW WALL (BRACE TO STRUCTURE ABOVE)
 - 1/2" GYPSUM BOARD - PAINTED
 - 3 5/8" METAL STUDS @ 16" O.C. (U.N.O.)
 - 1/2" GYPSUM BOARD - PAINTED
- NEW WALL (BRACE TO STRUCTURE ABOVE)
 - NO FINISH
 - 3 5/8" METAL STUDS @ 16" O.C. (U.N.O.)
 - 5/8" CEMENT BOARD WITH TILE FINISH
- EXISTING FRAMING / DEPTH OF EXISTING WALL SYSTEM IS CONCEALED.
 - DESIRE IN THIS AREA IS TO ALLOW FOR MORE ROOM FOR NON ADA STALLS COORDINATE WITH DNR ENGINEERING AFTER REMOVAL OF FINISHES.
 - 5/8" CEMENT BOARD WITH TILE FINISH

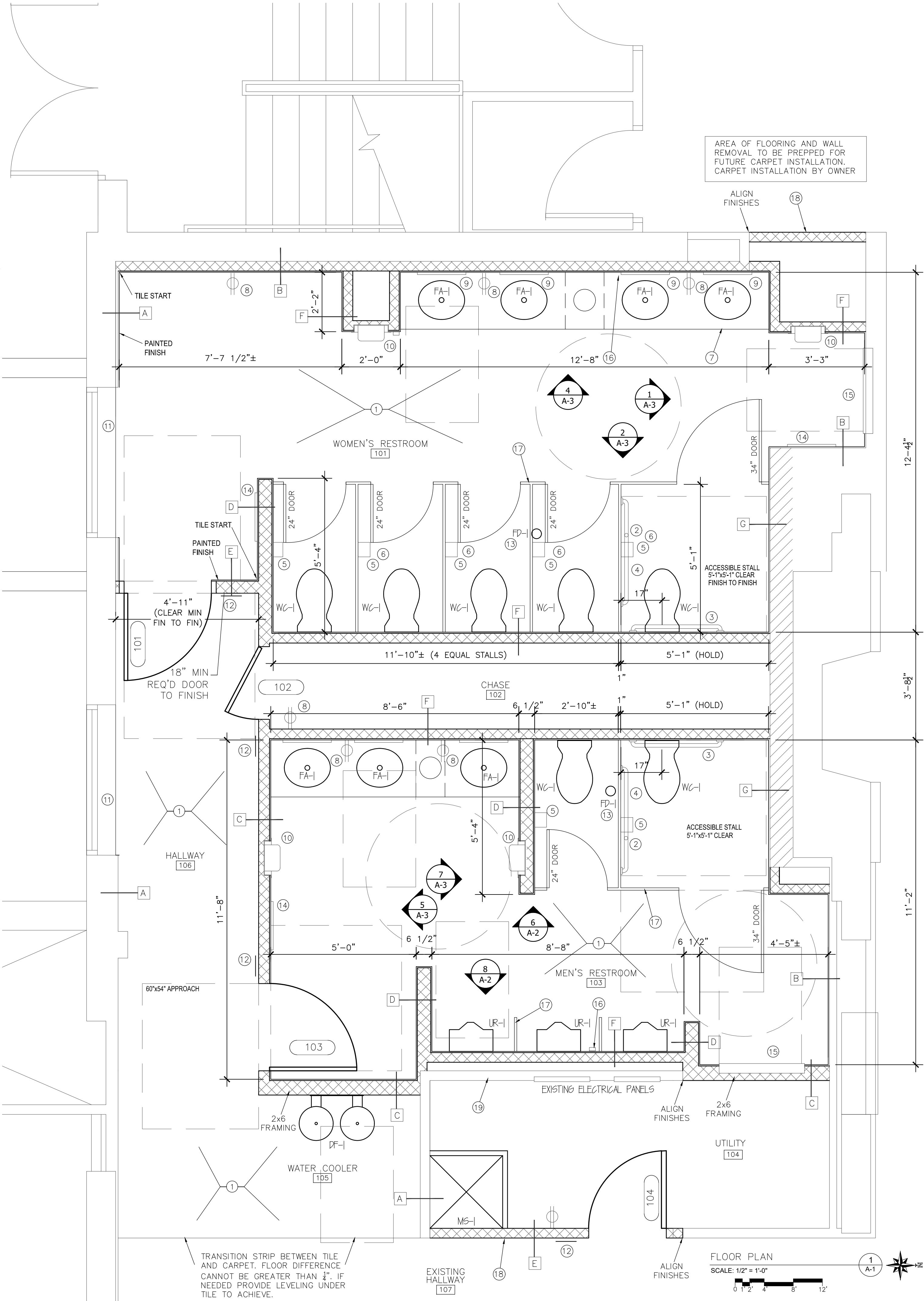
PLUMBING FIXTURE SCHEDULE									
MARK	VENDOR / MOD. NO.	DESCRIPTION	H.W.	C.W.	TRAP	W.	V.	MTG. HT. / NOTES	NOTES
WC-1	AMERICAN STANDARD	WATER CLOSET	-	1"	INTEGRAL	4"	2"	17'-19" TO SEAT	1-3
UR-1	AMERICAN STANDARD	URINAL	-	3/4"	INTEGRAL	2"	1 1/2"		1-3
MS-1	FIAT / MOD. MS82424	SERVICE SINK - 24" X 24"	1/2"	1/2"		3"			3, 5-9
DF-1	HAWS / MOD. 1011	ADA - BARRIER FREE DRINKING FOUNTAIN	1/2"		INTEGRAL	1 1/2"	1 1/2"	ADA COMPLIANT HEIGHT, SATIN FINISH	3
F.D.-1	JAY R. SMITH / MOD. 2041S	FLOOR DRAIN - RESTROOM			INTEGRAL	2"			3
FA-1	DELTA DRYER COLLECTION	FAUCET	1/2"	1/2"		1 1/2"	1 1/2"	SINGLE HANDLE, AC ADAPTER: EP102157	3

NOTES:

- TOILET: FLUSHOMETER VALVE SHALL BE 1.6 GPF SENSOR-OPERATED AMERICAN STANDARD SELECTRONIC, HARD-WIRD, AC POWER # 6067.161.002 (TOP SPUD), CHROME FINISH; INSTALL SEAT FOR AMERICAN STANDARD TOILET WITH NO COVER, OPEN FRONT, COLOR TO MATCH FIXTURE (WHITE).
 URINAL: FLUSHOMETER VALVE SHALL BE .5 GPF SENSOR-OPERATED AMERICAN STANDARD SELECTRONIC, HARD-WIRD, AC POWER # 6063.051.002 (TOP SPUD), CHROME FINISH;
- INSTALL WATER CLOSET CARRIER SYSTEM AS RECOMMENDED BY TOILET MANUFACTURER FOR MODEL PROVIDED.
- CONNECT ALL NEW PLUMBING INTO EXISTING SUPPLY, SANITARY, AND VENTING AS REQUIRED. USE MATCHING MATERIALS TO EXISTING.
- CONTRACTOR SHALL INSTALL NEW P-TRAP @ ALL NEW DRAINS, SIMILAR TO MOD.#Z8700 SERIES, FOR ADA COMPLIANCE.
- CONTRACTOR SHALL SUPPLY MOP SINK FIAT FAUCET MOD.#830-AA WITH VACUUM BREAKER - MOUNTED 42" A.F.F.
- CONTRACTOR SHALL SUPPLY NEW MOP SINK FIAT HOSE AND HOSE BRACKET MOD.#832-AA.
- CONTRACTOR SHALL SUPPLY MOP SINK FIAT MOP HANGER MOD.#889-CC
- CONTRACTOR SHALL SUPPLY MOUNTING BRACKET AND ALL RELATED ACCESSORIES.
- CONTRACTOR SHALL PRESET WATER TEMPERATURE TO 120 F AT UTILITY / MOP SINKS

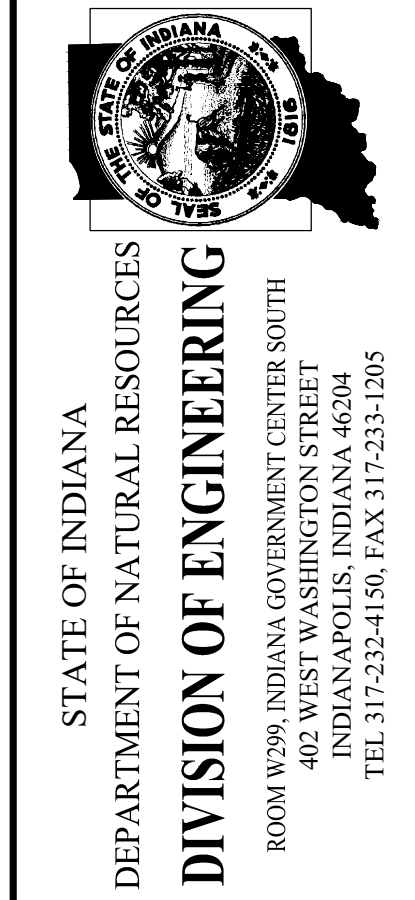
FLOOR PLAN KEYNOTES:

- MOUNTING LOCATIONS PER 1/G-1. PROVIDE WOOD BLOCKING AS REQ'D.
- REMOVE AND REPLACE ALL DAMAGED SUBFLOORING. REPLACE WITH PLYWOOD TO MATCH EXISTING THICKNESS. FOR PURPOSES OF BIDDING ASSUME 30% REPLACEMENT. INSTALL SCHULTER DITRA MEMBRANE AND SCHLUTER KERDI STRIPS PER MANUFACTURER'S STANDARDS OVER ENTIRE AREA TO BE RECEIVE TILE FINISH.
 ALTERNATE #1. NEW 3/8" PLYWOOD SUBFLOOR WITH 1/2" CEMENT BACKER BOARD. INSTALL PER TCNA F144-23 STANDARDS. NO CEMENT BOARD IN CHASE 102 OR UTILITY 104
 - VERTICAL GRAB BAR: 18" LONG, BOBRICK OR EQUAL.
 - HORIZONTAL GRAB BAR: 36" LONG, BOBRICK OR EQUAL.
 - HORIZONTAL GRAB BAR: 42" LONG, BOBRICK OR EQUAL.
 - TOILET TISSUE HOLDER: BOBRICK B-265 OR EQUAL
 - SANITARY NAPKIN HOLDER: BOBRICK B-270 OR EQUAL
 - SOLID SURFACE VANITY TOP WITH INTEGRAL SINKS AND TRASH OPENING: TOP AT 2'-9 1/2" A.F.F. PROVIDE STEEL ANGLE AT UNDERSIDE OF FRONT TO SUPPORT COUNTER. AUTOMATIC SOAP DISPENSER AT EACH SINK LOCATION: BOBRICK 8281 OR EQUAL.
 ADA COMPLIANT VALANCE WITH TRASH COMPARTMENT. HPL MATERIAL TO MATCH TOILET PARTITIONS. REFER TO DETAIL ON 10/A-3.
 - GFCI RECEPTACLE LOCATED AT 38" A.F.F. CONNECT TO EXISTING RESTROOM CIRCUITS.
 - MIRROR, MOUNT REFLECTIVE SURFACE 39 1/2" A.F.F. MAXIMUM BOBRICK MODEL B-290 OR EQUAL
 MEN'S: 18"x36" - 3 TOTAL
 WOMEN'S: 24"x36" - 4 TOTAL
 - ELECTRIC HAND DRYER, XLERATOR MODEL XL-SB (Brushed Stainless Steel) with ADA - COMPLIANT RECESS KIT. EACH TO BE ON OWN ELECTRICAL CIRCUIT. EXTEND ELECTRICAL AS REQUIRED.
 - EXISTING WINDOWS TO REMAIN AND BE PAINTED. REPAIR ANY BROCKEN PANES WITH GLASS TO MATCH. NEW SOLID SURFACE SILL. MATCH LAVATORIES.
 - ADA SIGNAGE. REFER TO 3/A1. ASI OR EQUAL.
 - FLOOR DRAIN. CONNECT TO CLOSEST EXISTING DRAIN LINE.
 - VERTICAL MIRROR. BOBRICK MODEL B-290 OR EQUAL 24"x60"
 - BABY CHANGING STATION WITH BAG HOOK. KB310-SSRE OR APPROVED EQUAL.
 - FIRE ALARM SENSOR TO BE RELOCATED
 - TOILET PARTITIONS. BOBRICK "PRIVADA (HPL)" OR APPROVED EQUAL. STANDARD 72" HEIGHT, 9" FROM FLOOR. COLOR TO BE CHOSEN FROM STANDARD COLORS AND PATTERNS. COAT HOOK TO BE PROVIDED IN EACH STALL AND MOUNTED AT 44". ADA COMPLIANT STALLS TO HAVE HANDLES ON INSIDE AND OUTSIDE OF DOOR.
 - NEW WALL FINISHES TO MATCH ADJACENT FINISHES.
 - PROVIDE 24"x24" ACCESS PANEL TO CHASE. CONTRACTOR TO VERIFY NO CONFLICT WITH ELECTRICAL.



Certified by:

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 Fort Harrison State Park
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ELECTRICAL FIXTURE SCHEDULE

MARK	VENDOR / MODEL #	LAMPS	SIZE	MOUNTING	DESCRIPTION	NOTES
E1	KEYSTONE / KT-RDLED18PS-6A-9CSE-VDIM	LED	6" DIA.	CEILING/RECESSED	POWER AND COLOR SELECTABLE	
E2	KEYSTONE / KT-RDLED18PS-6A-9CSE-VDIM-EM5	LED	6" DIA.	CEILING/RECESSED	POWER AND COLOR SELECTABLE EMERGENCY	
E3	KEYSTONE / KT-MSLED44PS-A-8C6A-VDIM	LED	4'-0"	SURFACE	POWER AND COLOR SELECTABLE	
E4	JUNO / CPNC-02-SQADJ	LED	2" DIA.	CEILING/RECESSED		
HD	XLERATOR MOD.# XL-SB WITH SS RECESS KIT MOD.#A0502		14.5"XD26"	INTERIOR WALL	HAND DRYER - ADA MOUNTING HT. 37" FLOOR TO BOTTOM OF DRYER 240V (65A) 20 AMP MAXIMUM BREAKER	

LIGHTING NOTES:

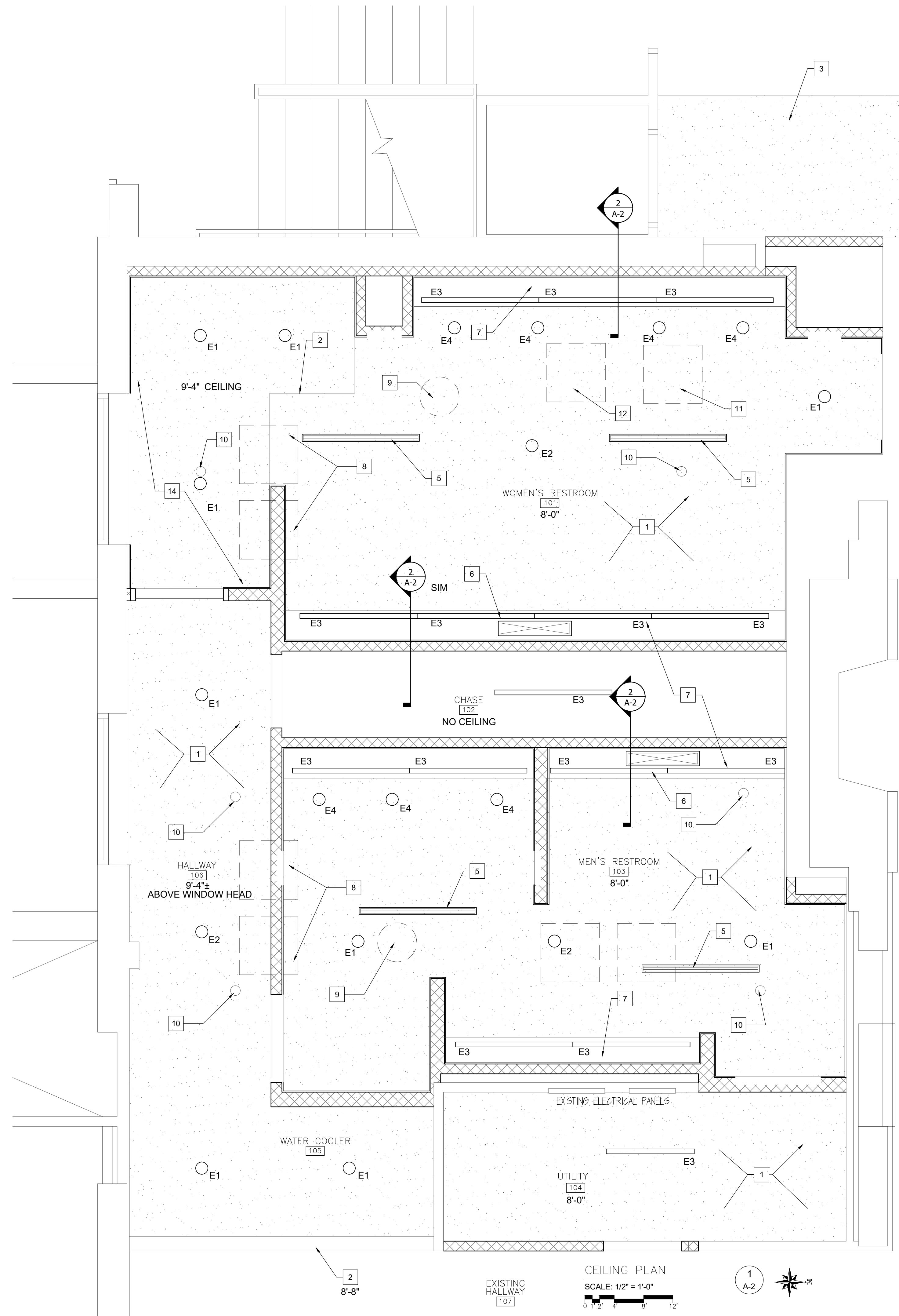
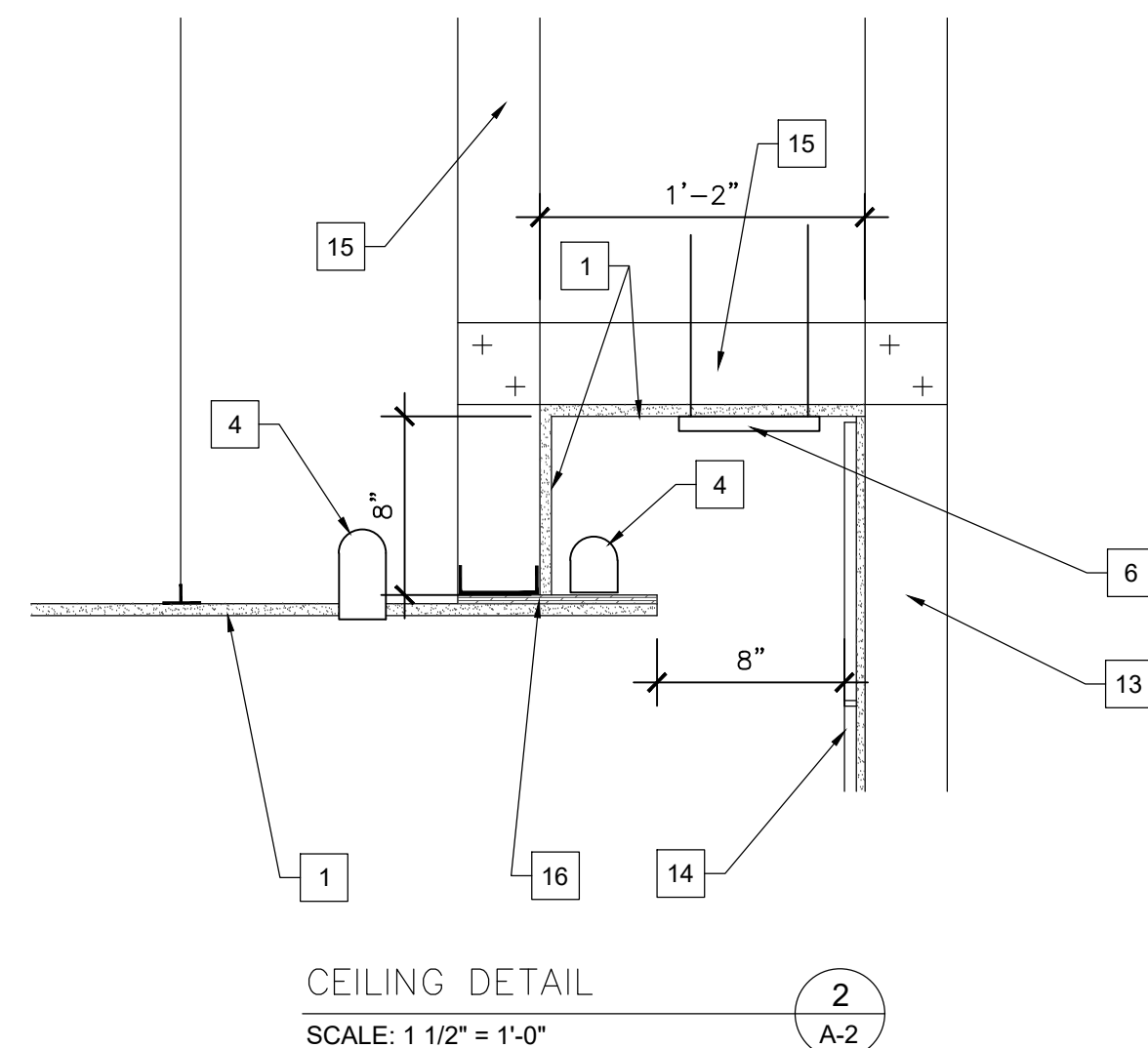
- HALLWAY 106 LIGHTING TO BE ON SAME CIRCUIT AS EXISTING HALLWAY 107 UNLESS ADEQUATE ROOM IS UNAVAILABLE.
- WOMEN'S RESTROOM 101 SHALL BE ON SAME CIRCUIT AS PREVIOUS MEN'S RESTROOM. LIGHTING TO BE MOTION ACTIVATED.
- MEN'S RESTROOM 103 SHALL BE ON SAME CIRCUIT AS PREVIOUS WOMEN'S RESTROOM. LIGHTING TO BE MOTION ACTIVATED.
- UTILITY 104 SHALL BE ON SAME CIRCUIT AS PREVIOUS UTILITY ROOM. PROVIDE SWITCH AT INTERIOR LATCH SIDE OF DOOR.
- CHASE 102 TO BE ON SAME CIRCUIT AS PREVIOUS CHASE. PROVIDE SWITCH INSIDE CHASE AT DOOR.
- ALL FIXTURES SHALL BE 120 VOLTS
- FIXTURES SHALL BE DESIGNED FOR INSTALLATION IN HARD CEILING. ALL MAINTENANCE SHALL BE PERFORMED THRU THE FRONT.

MECHANICAL NOTES:

- EXHAUST SYSTEM:**
- NEW EXHAUST FAN, MODEL: GREENHECK MODEL: 50-80-VG6X-QD DIRECT DRIVE $\frac{1}{2}$ HP, 120 V, SINGLE PHASE, 350 CFM @ .375 SP (1 IN EACH RESTROOM 101 AND 103)
 - NEW FANS TO BE MOUNTED IN CHASE AREA WITH ACCESS FOR REPAIRS.
 - CONNECT TO EXISTING DUCTWORK TO EXTERIOR.
 - CONNECT TO EXISTING EXHAUST FAN ELECTRICAL CIRCUIT.
 - PROVIDE SWITCH IN EACH RESTROOM.
 - DIFFUSERS: TITUS MODEL 25R, WHITE, 30"x6", 350 CFM (1 IN EACH RESTROOM 101 AND 103)
 - RE-WORK ELECTRICAL AS REQUIRED.
- HVAC SYSTEM:**
- DIFFUSERS: TITUS MODEL FL-20, WHITE, 2 PER RESTROOM, PATTERN CONTROLLER, 1-SLOT, 140 CFM EACH, 4'-0" LENGTH.
 - CONNECT TO EXISTING DUCTWORK.

CEILING PLAN KEYNOTES:

- $\frac{1}{2}$ " GYPSUM BOARD CEILINGS ON SUSPENSION SYSTEM - U.N.O
- 4" WIDE GYPSUM BOARD BULKHEAD
- NEW GYPSUM BOARD CEILING TO MATCH ADJACENT CEILING.
- NEW LIGHTING. REFER TO SCHEDULE.
- NEW CEILING MOUNTED SLOT DIFFUSER. REFER TO MECHANICAL NOTES.
- NEW EXHAUST DIFFUSER. REFER TO MECHANICAL NOTES.
- LIGHT TRAY DETAIL. REFER TO DETAIL 2/A-3.
- EXISTING EXHAUST FAN DIFFUSER AND ACCESS PANEL TO BE REMOVED.
- EXISTING CEILING MOUNTED SPEAKER TO BE RELOCATED INTO NEW CEILING.
- EXISTING SPRINKLER HEAD. RELOCATE AS NEEDED TO PROVIDE COVERAGE TO NEW WALL LAYOUT.
- EXISTING LIGHTING TO BE REMOVED.
- EXISTING DIFFUSER TO BE REMOVED.
- WALL FRAMING. REFER TO A-1.
- CERAMIC TILE FINISH
- 3 $\frac{3}{8}$ " METAL FRAMING TO FORM LIGHT COVE
- $\frac{3}{8}$ " PLYWOOD
- GYPSUM BOARD FINISH AT CEILING HEIGHT CHANGE



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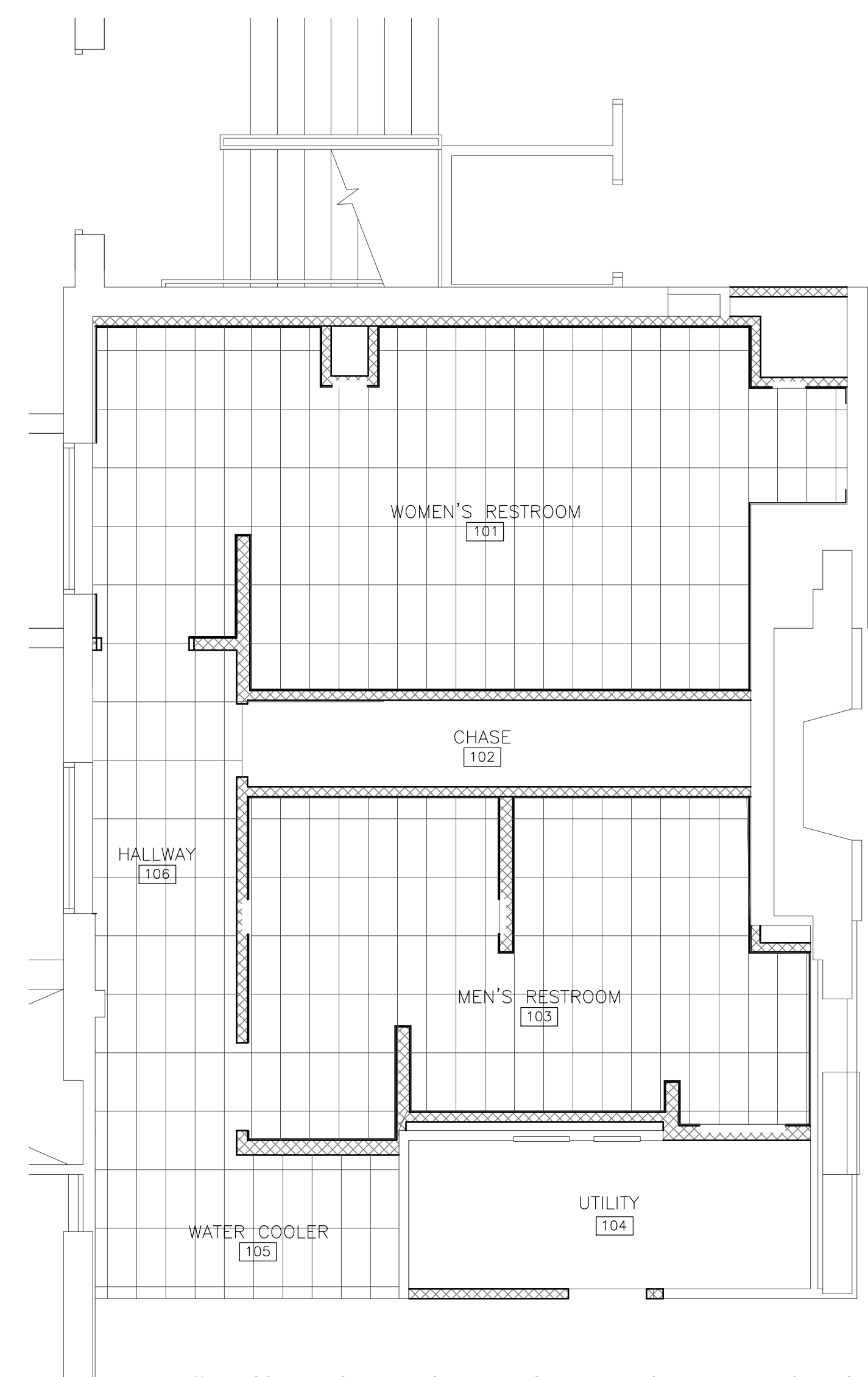
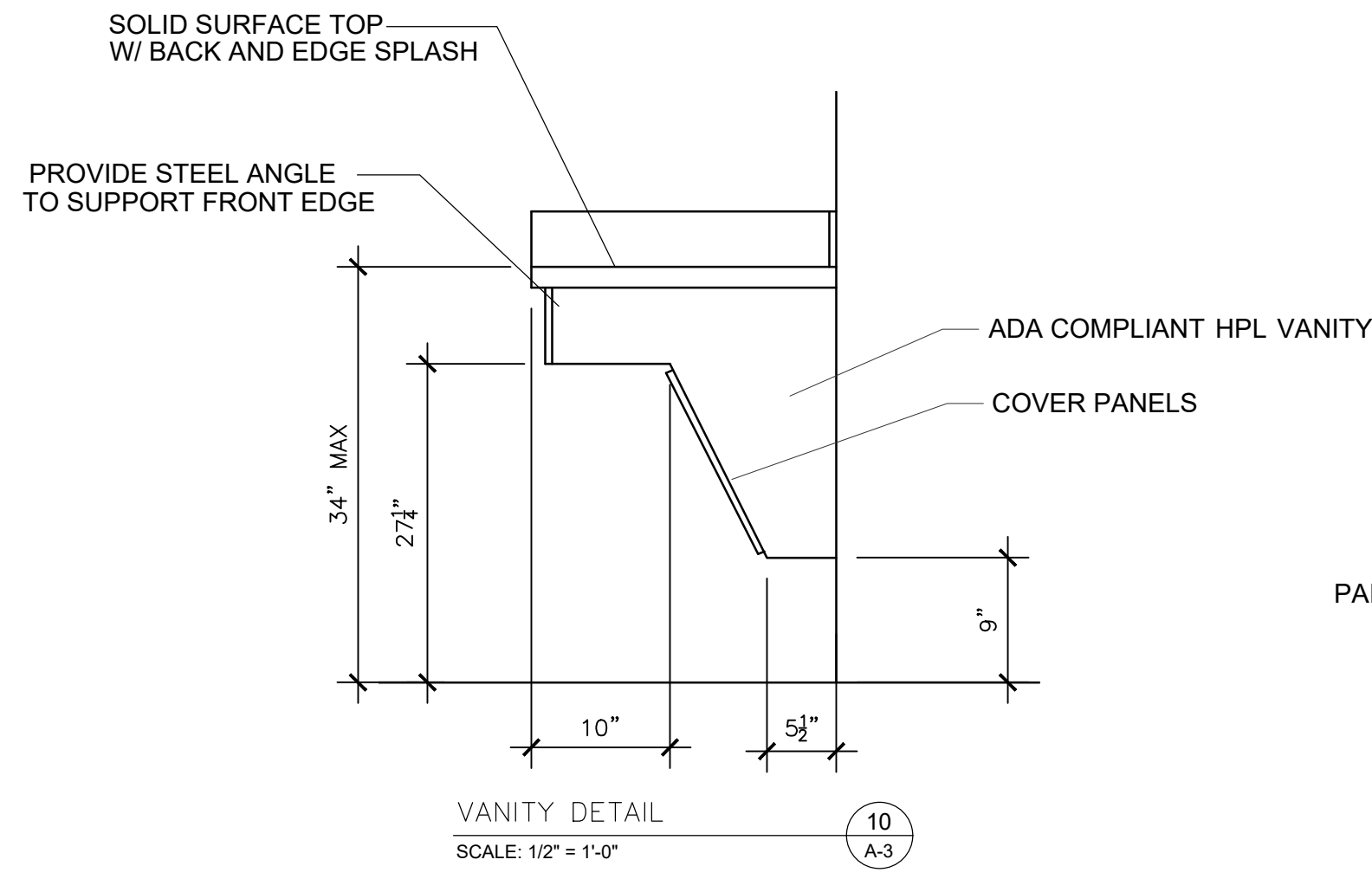
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402 WEST WASHINGTON STREET
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Revisions:

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Drawing Number: A-2
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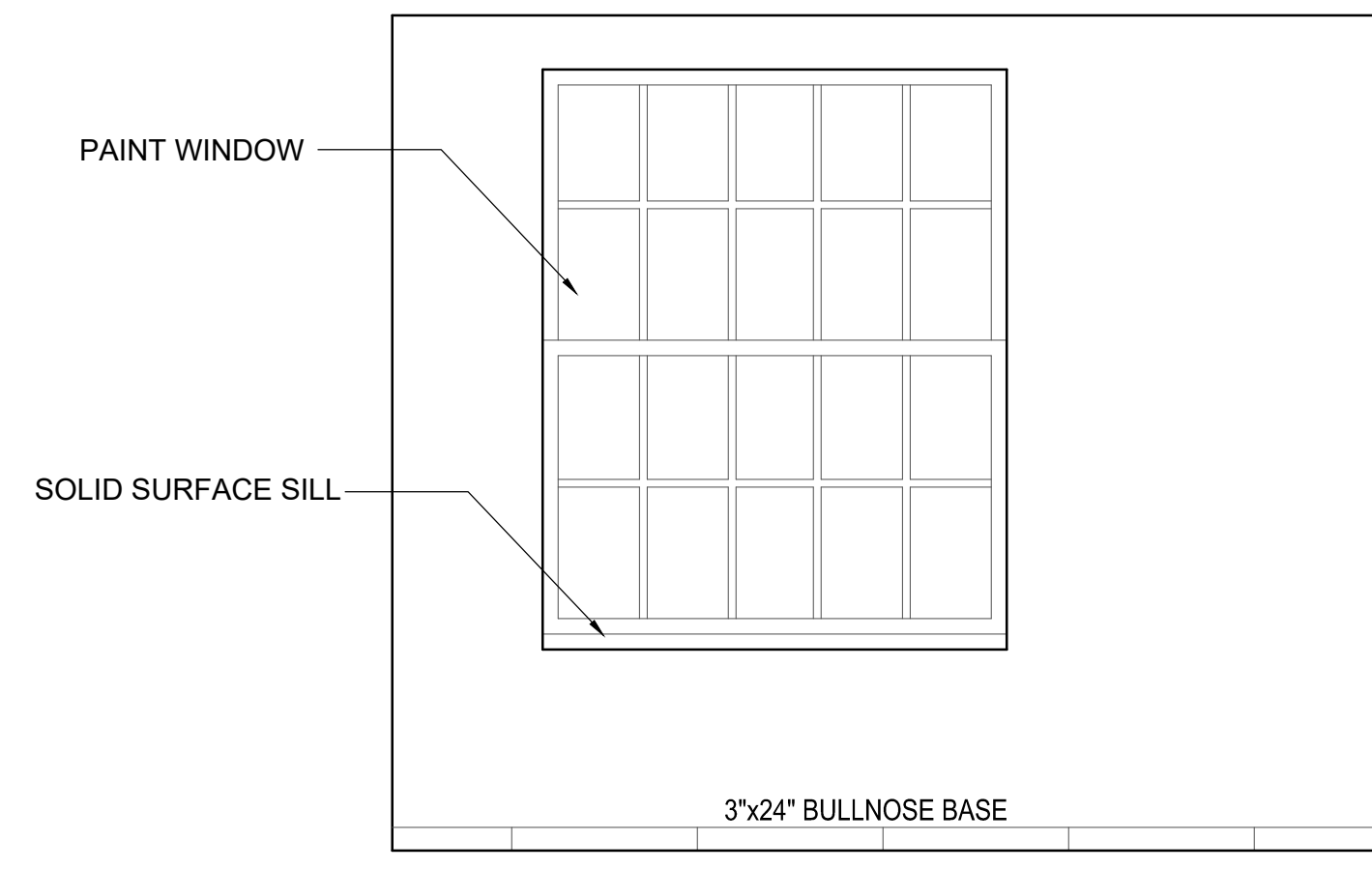
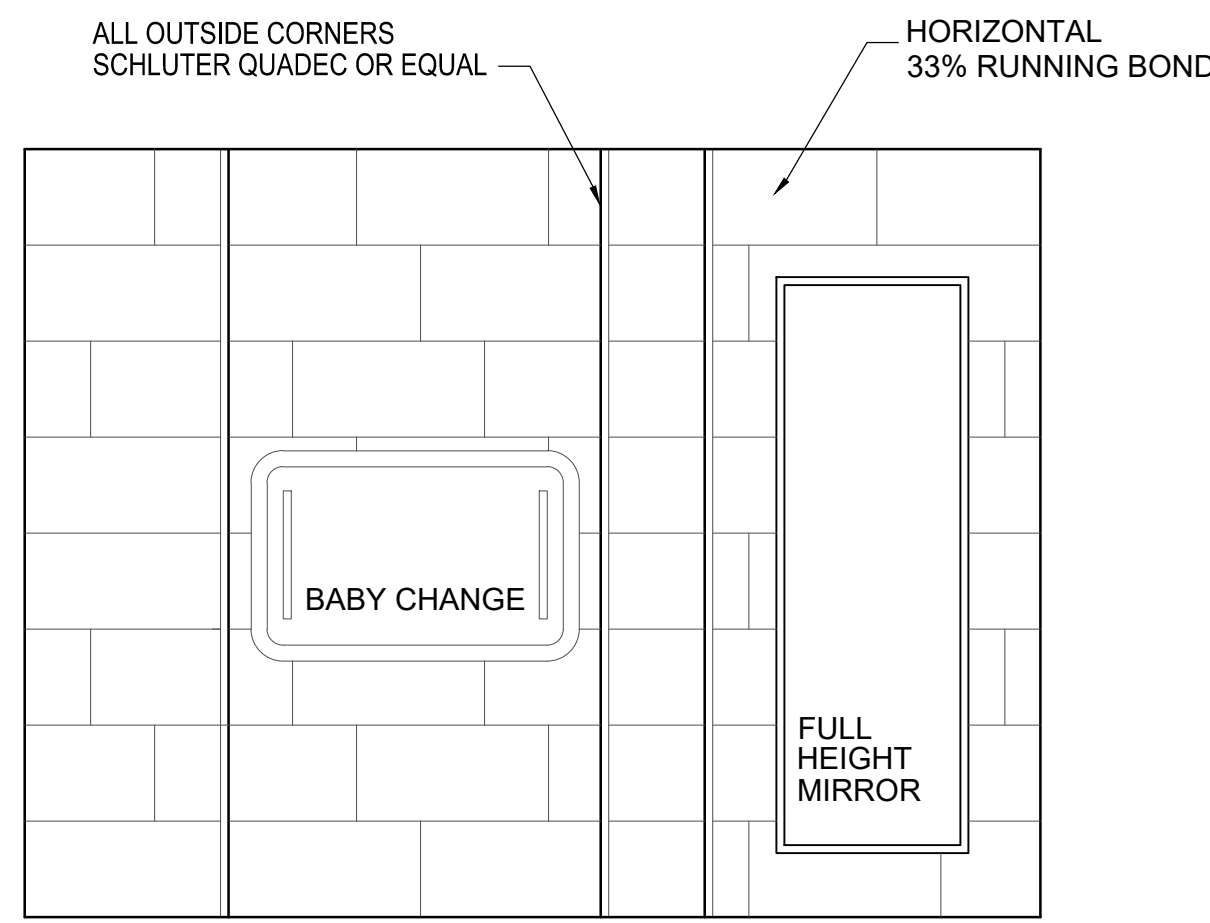
TILE SCHEDULE:

WALL TILE TO BE: MILESTONE ONYX WHITE MATTE RECTIFIED. REFER TO A-3 FOR PATTERN.
 WALL ACCENT TILE TO BE: ANTHOLOGYFROST HERRINGBONE. REFER TO A-3 FOR PATTERN.
 TILE OUTSIDE CORNERS: SCHLUTER QUADEC OR EQUAL

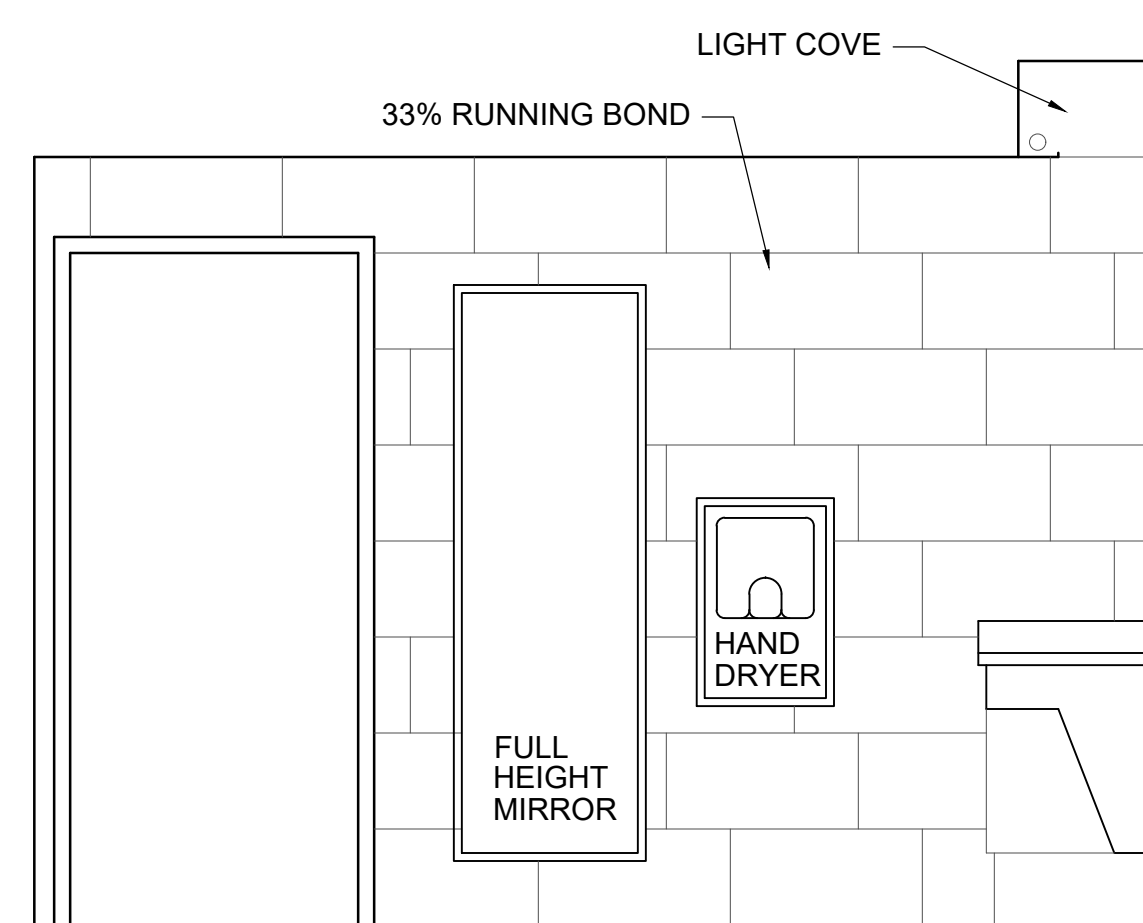


** FLOOR TILE TO BE: ANATOLIA 12x24 IVORY MATTE RECTIFIED. REFER TO A-3 FOR PATTERN.
 ** STACK BOND IN DIRECTION SHOWN

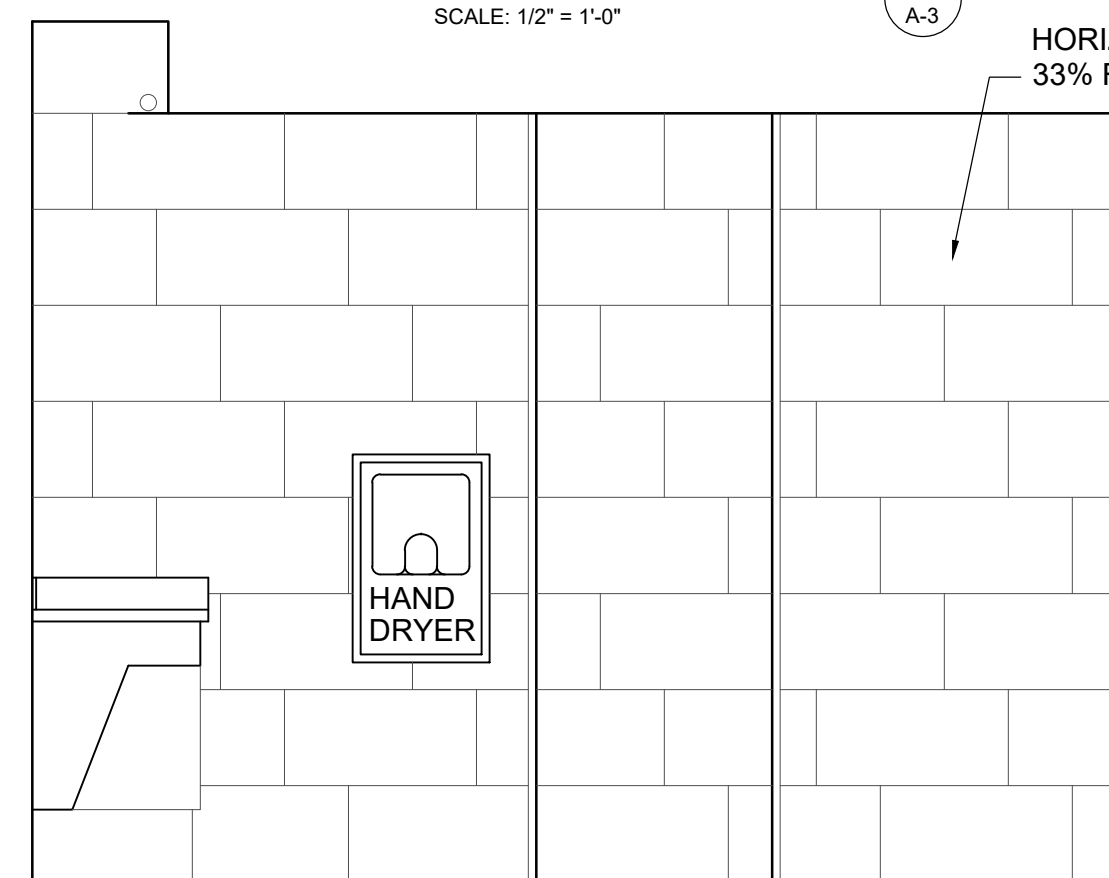
FLOOR TILE
SCALE: 1/4" = 1'-0"



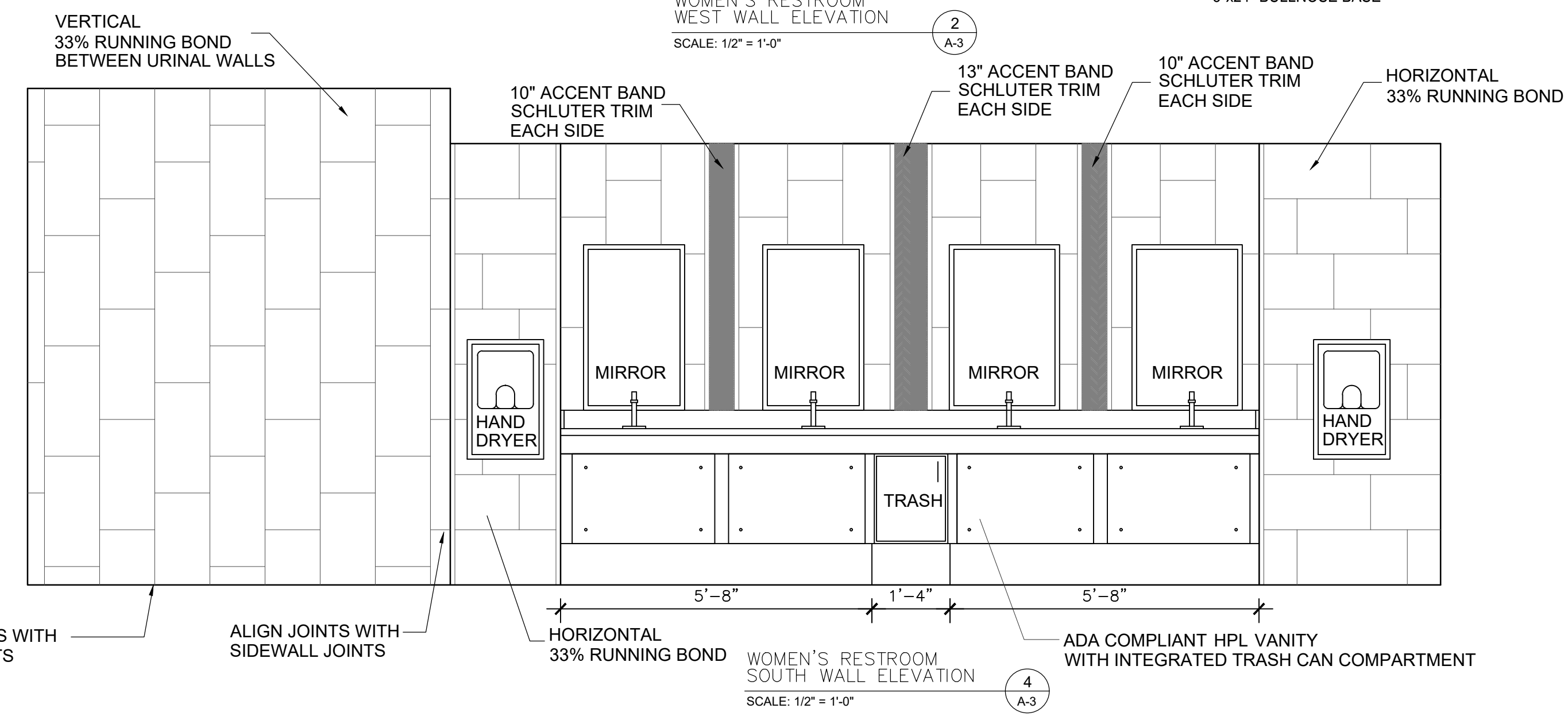
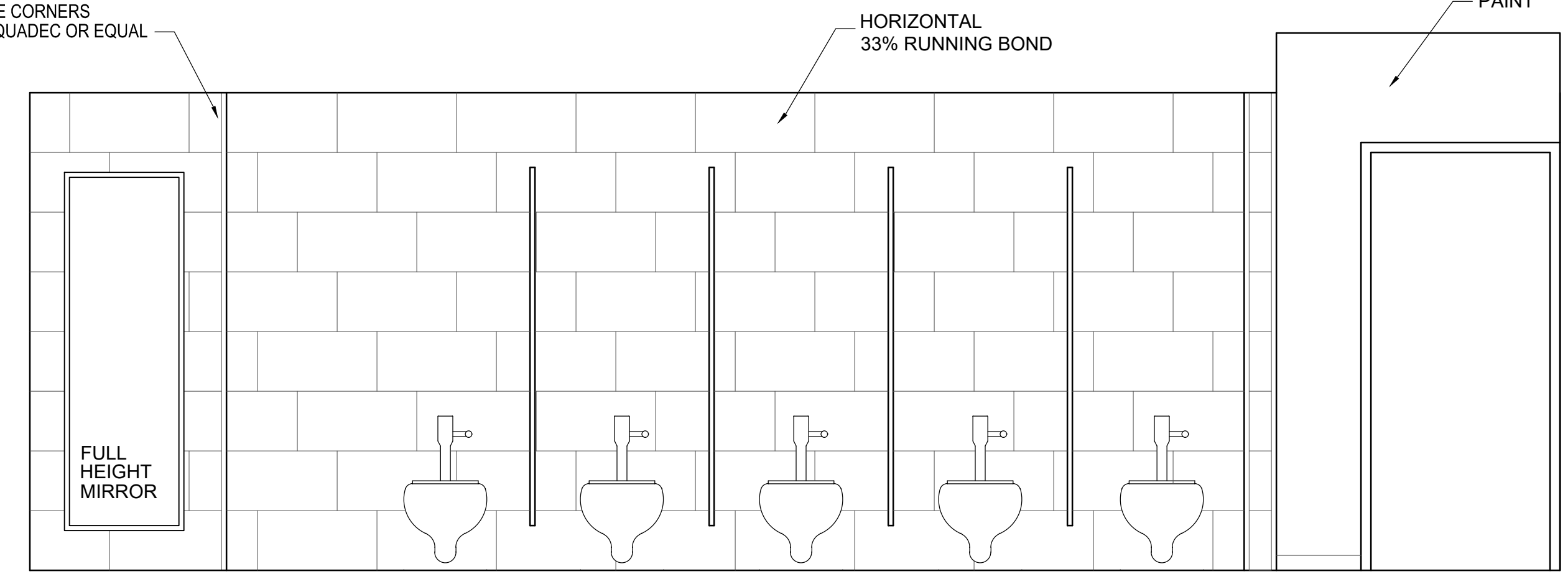
WOMEN'S RESTROOM NORTH WALL ELEVATION
SCALE: 1/2" = 1'-0"



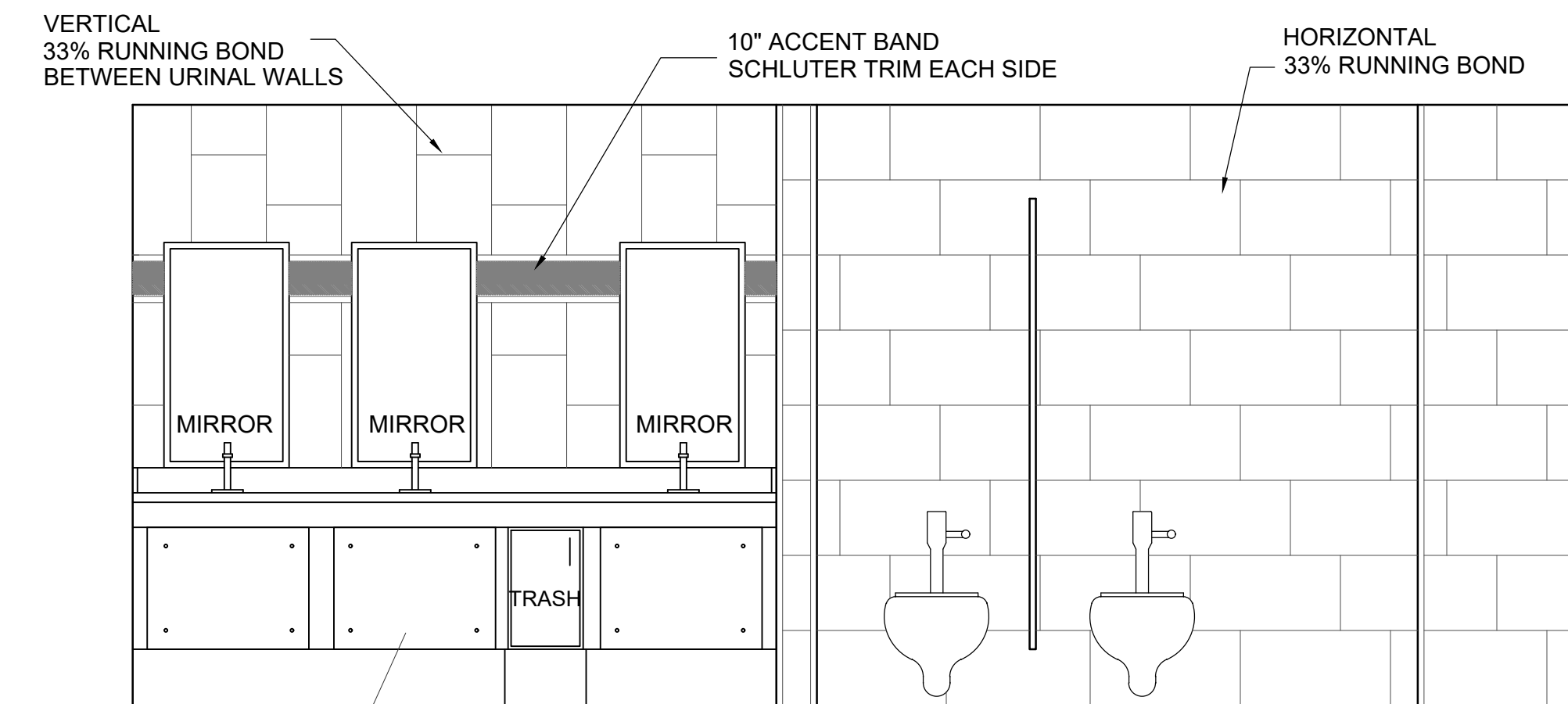
MEN'S RESTROOM NORTH WALL ELEVATION
SCALE: 1/2" = 1'-0"



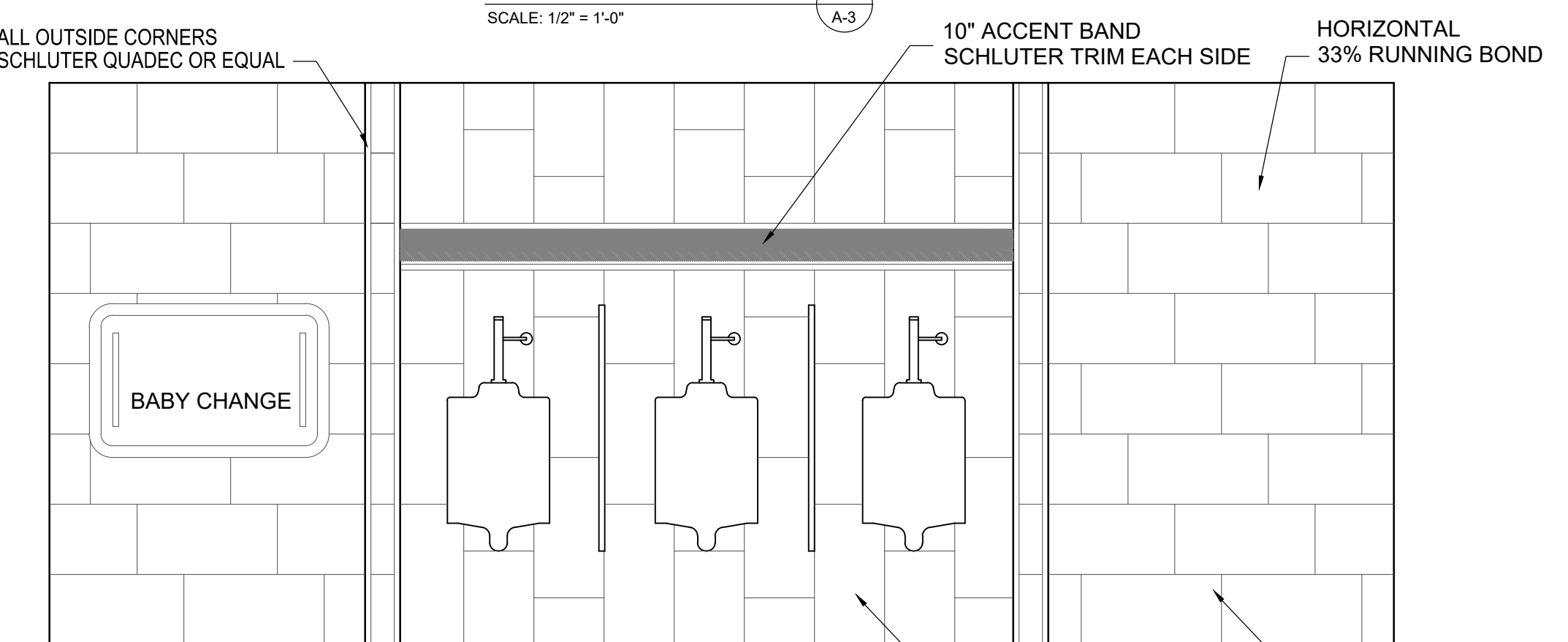
MEN'S RESTROOM WEST WALL ELEVATION
SCALE: 1/2" = 1'-0"



WOMEN'S RESTROOM SOUTH WALL ELEVATION
SCALE: 1/2" = 1'-0"



MEN'S RESTROOM SOUTH WALL ELEVATION
SCALE: 1/2" = 1'-0"



MEN'S RESTROOM EAST WALL ELEVATION
SCALE: 1/2" = 1'-0"

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 Drafter: Drawing Scale: AS NOTED

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Client Approval:

File Number: XXX-XXX

Drawing Number: A-3

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**FLOORING REPLACEMENT SCOPE:
ALTERNATE #2**

- ① DISCONNECTION AND TEMPORARY RELOCATION OF EXISTING KITCHEN EQUIPMENT BY OWNER.
ALTERNATE #3:
CONTRACTOR TO DISCONNECT AND MOVE KITCHEN EQUIPMENT FOR FLOORING REPLACEMENT. OWNER TO PROVIDE LOCATION FOR TEMPORARY STORAGE.
- ② CONTRACTOR TO REMOVE ANY PLUMBING, ELECTRICAL, AND MECHANICAL AS NEEDED FOR FLOOR REPLACEMENT. ALL MEP REMOVED DURING FLOORING PROJECT TO BE REPLACED AFTER FLOORING REPLACEMENT FOR EQUIPMENT RE-INSTALLATION.
- ③ REMOVE EXISTING FLOORING TILE, DAMAGED SUBFLOOR, UNDERLAYMENT, AND BASE THROUGHOUT KITCHEN.
CONTRACTOR TO INSPECT THE SUBFLOOR WITH THE PROPERTY MANAGER.
- ④ INSTALL NEW SUBFLOOR AT ANY AREAS OF REMOVAL. PREPARE SUBFLOOR AS NEEDED FOR NEW QUARRY TILE FLOORING. INSTALL SCHULTER DITRA AND KERDI STRIPS PER MANUFACTURER'S STANDARDS. FLASHINGS AT ALL PENETRATIONS AND JOINTS AT WALLS AND CORNERS.
- ⑤ INSTALL NEW COMMERCIAL GRADE QUARRY TILE AND BASE THROUGHOUT THE KITCHEN.
- ⑥ PROVIDE TRANSITIONS AT ALL DOORWAYS AND FLOORING MATERIAL CHANGES.
- ⑦ REPLACE ANY MECHANICAL, ELECTRICAL, AND PLUMBING REMOVED FOR THE FLOOR INSTALLATION. RE-INSTALLATION AND CONNECTION OF EXISTING KITCHEN EQUIPMENT BY OWNER.
ALTERNATE #3:
RE-INSTALLATION AND CONNECTION OF EXISTING KITCHEN EQUIPMENT BY CONTRACTOR.

FLOORING GENERAL NOTES:

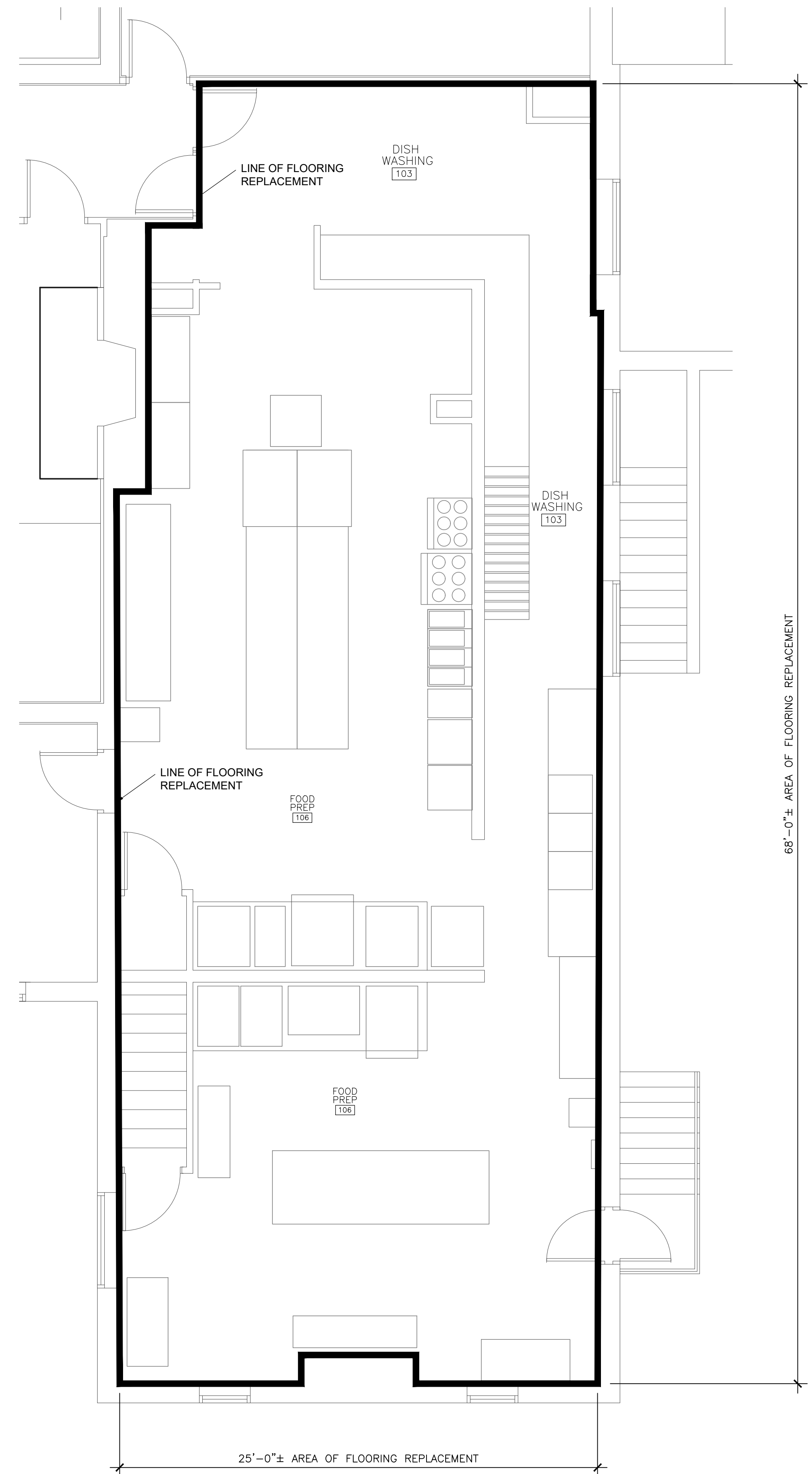
1. EQUIPMENT SHOWN IS FOR REFERENCE AND ARE NOT DRAWN TO EXACT SIZE.
2. PLAN IS SHOWN FOR REFERENCE AND LOCATIONS OF FLOORING REPLACEMENT. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL CONDITIONS.
3. ALL FLOOR DRAINS TO BE MAINTAINED IN EXISTING LOCATIONS.

WALL TILE REPLACEMENT SCOPE: ALTERNATE #4

- ① PROVIDE 100 SQFT OF WALL TILE REPLACEMENT. EXACT LOCATIONS TO BE DETERMINED AFTER FLOORING AND EQUIPMENT REMOVAL. COLOR TO MATCH EXISTING.

FRP REPLACEMENT SCOPE: ALTERNATE #5

- ① PROVIDE 24 LINEAR FEET x 8' HEIGHT OF FRP REPLACEMENT. EXACT LOCATIONS TO BE DETERMINED AFTER FLOORING AND EQUIPMENT REMOVAL. COLOR TO MATCH EXISTING.



FLOOR PLAN - KITCHEN
SCALE: 1/4" = 1'-0"

0 1' 2' 4' 8' 12'

1
A-4



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