

Addendum No. 2

**For Project No. ENG2002905497
DEER CREEK MAINTENANCE BUILDING
DEER CREEK FISH & WILDLIFE AREA
Putnam County**

ISSUED FROM: Engineering Division Dept. Natural Resources

ISSUE DATE: June 28, 2023

BID DATE: July 11, 2023

FOR AGENCY: Department of Natural Resources

The information contained in this Addendum shall become a part of the basic plans and specifications the same as if original incorporated therein. The original plans and specifications shall remain in their entirety, except as modified by this Addendum. The items herein shall supersede information in the specifications and on the plans.

ITEM No. 1: GENERAL

1. Q: If any voluntary Alternate (**deducts**) are identified, apart from those expressly listed as Alternates in the bid documents, how should those be presented? In tandem with the formal bid submission and still written in the Alternates section or separately.

A: Per SECTION 01 23 00 – ALTERNATES, PART 1 – GENERAL, 1.01 (D)

Substitution of materials or methods of work other than as called for in the documents, i.e. "voluntary alternates" shall be cause for rejections of bid as non-conforming.

2. Clarification: All utility locates, soil compaction, and concrete testing are the responsibility of the Contractor using an independent third-party testing agency.

ITEM No. 2: CONSTRUCTION PLANS

1. Sheet G-1:
Revised Building Address and County in the Project Information. Refer to attached plan.

2. Q: There are no gutters or downspouts on one side of the building. This may be intentional, however, we do have concerns that there may be erosion issues on that side of the building with the runoff from the roof. Please advise.

A: Gutters are only to be included on the front side of the building as shown on the plans.

3. Q: Is there a landscaping plan? If not, we will assume the sitework contractor provides seeding after final grading, should this be required.

A: Specification 02936-Seeding applies to all disturbed areas as part of the base bid.

4. Q: Should there be an exhaust fan in the restroom? This may be required.

A: Sheet E-2, Fixture Schedule Mark "E" labels the exhaust fan.

5. Q: The 100amp panel B on page E1 is listed as part of Alternate 2, but it supplies all power for the OHD's, including those on the base bid. Is this panel supposed to be part of the base bid?

A: Under base bid, all circuits will feed from the main panel.

6. Q: Please confirm transformer location. We will need to understand the distance from the transformer to the panel for electrical connection.

A: Transformer is existing, on the southwest corner of the existing maintenance building just south of project location. Labeled as "Elec Box" on Sheet D-1. Do not route wiring under buildings or exterior slabs.

7. Q: Is the size of the aggregate driveway reducing with the alternates?

A: The road, related grading, and seeding are part of the base bid and shall be included even if the alternates are not accepted.

8. Q: Drawing C-1 notes a new service gas line. Please confirm connection location to the gas main. Drawing 4 of the permit plans shows a construction entrance over the gas line. Can one of these be moved to prevent the construction entrance from damage if the gas line is installed by trenching in lieu of horizontal boring?

- A: Provide connection to new gas service 5'-0" outside of building. Gas line location will need to be coordinated with the utility provider during construction.
9. Q: Will items such as the transformer, propane tank, etc. noted on plans require protective bollards to be installed?
- A: Include (3) concrete bollards for the existing transformer. Delete the note referring to propane tank from Sheet D-1.
10. Q: Drawing 4 of the permit plans shows a concrete washout area constructed per Drawing 4. Is it acceptable to use a commercial washout dumpster in lieu of this?
- A: A Commercial Washout Dumpster may be used in lieu of the spec'd washout, the Commercial Washout Dumpster must be lined with 10 mil plastic (Min) and maintain a free board of 12" or more.
11. Q: Drawing C-1 shows two ADA parking spaces. Assuming these are concrete, there are no details on the structural or other drawings. Please provide details, including ADA details for ramps/slope.
- A: Sheet C-1 has been revised to include ADA parking details. Refer to attached drawings.
12. Clarification: Sheet D-1: Electric Control Panel. Conduit and wiring shall extend to new Maintenance Building. Land wiring at Panel A and provide 10 amp breaker.
13. Clarification: Sheet D-1 (yellow letter area).
Dosing Pump and Motor Description is as follows:
Meyers Model ME 50
Flow: 25 GPM
Head: 10 FT
HP: 0.50
RPM: 1725
Electrical Required: 230 VAC, 60 HZ, 1PH
14. Q: Sheet D-1 pump station detail – the top view shows a 30" diameter basin. But at the bottom it seems to show a 48" diameter cover. Can you confirm the basin size is 30" diameter?
- A: Basin size is 30" diameter.
15. Q: Drawing C-1 shows a proposed fence. Assuming this is to match existing chain link, but we will need specifications provided in order to get an accurate price, and required shop drawings for approval.
- A: Refer to added detail on Sheet C-2.

16. Sheet E-1 – Revise Note Regarding Installation of Pad Mounted Transformer to: Secondary electrical service to connect to existing transformer. See question #6 above regarding location.
17. Sheet E-2 – Add Note: Communication Conduits
 - A. Provide 1 ¼” capped PVC conduit from the server location in the storage room to the phone / computer location near the breakroom counter (or location requested by property manager)
 - B. Provide 2” capped PVC conduit from the server location to 5’-0” outside the building.

ITEM No. 3: SPECIFICATIONS

1. Q: Can you provide the following.
Need the HVAC split system(s) equipment data. Not provided on M drawings. Need specs for the (2) mixing valves. Backflow preventer(s) not shown or specified.

A: HVAC units are described in Section 238126 of the Specifications. Thermostatically-controlled water mixing valves are in Specifications Section 221119—6.
Contractor to provide and install: Double check 1” Backflow preventor.
2. Q: What AIC rating is required for the main breakers in each panel?

A: 100000 RMS Symmetrical
3. Q: In the drive through bay will this area be exposed to water. If so what type of conduit is required and does it need to be flush or surface mounted? In all other bays does the conduit need to be recessed behind the plywood or can it be surface mount. What type of conduit is required?

A: RACEWAY APPLICATION (from Section 260533 of the Specifications):
Indoors: Apply raceway products as specified below unless otherwise indicated. 1. Exposed, Not Subject to Physical Damage: EMT. Concealed in Ceilings and Interior Walls and Partitions: EMT. 2. Connection to Vibrating Equipment (Including Transformers and Hydraulic, Pneumatic, Electric Solenoid, or Motor-Driven Equipment): FMC, except use LFMC in damp or wet locations. 3. Damp or Wet Locations: GRC. 4. Boxes and Enclosures: NEMA 250, Type 1, except use NEMA 250, Type 4 stainless steel in institutional and commercial kitchens and damp or wet locations.

Concealed conduit is preferred where possible. All to be metallic per the specifications and in compliance with the NEC for the location and usage.

4. Q: Based on the Geotech report details and the flowable fill detail on S-4 the soils look questionable. We would not assume that the \$25,000 remediation allowance would fully cover this should the site need excessive undercutting, imported suitable fill, and/or stabilization. Please advise.

A: Any adjustments will be made on a case-by-case basis using input from the contractors third party testing agency.

5. Q: Are there any requirements for underground phone lines or communication conduits?

A: Refer to Item #17 above regarding notes added to Sheet E-2.

6. Revision to Section 083613 - Sectional Overhead Doors:
Part 2 Products: B. Manufacturers: Amarr 2042 is approved equal.

7. Revision to Section 02936 - Seeding
PART 2 - PRODUCTS

2.01 SEED MIXTURES

A. Permanent Seed Mixture:

Shall be Mulch Seed Type cool season pasture grass- blue grass/rye mix (150 lb acre).

B. Temporary Seed Mixture:

Shall be Mulch Seed Mix type cool season pasture grass- blue grass/rye mix.

END OF ADDENDUM

State Form 21208R4

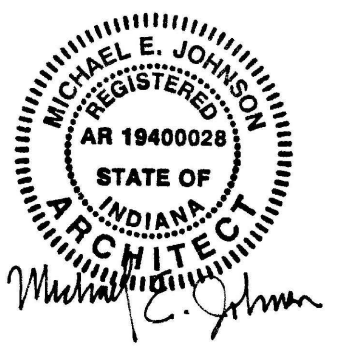
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MAINTENANCE BUILDING

INDIANA DEPARTMENT OF NATURAL RESOURCES

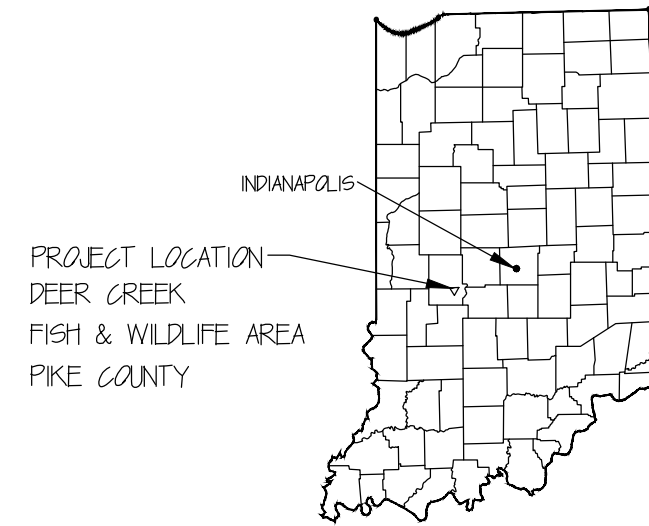
DEER CREEK FISH & WILDLIFE AREA

PROJECT NO. ENG2002905497



Certified by:

LOCATION MAP



NO SCALE

VICINITY MAP



AERIAL PHOTO OF BUILDING SITE

GENERAL NOTES:

- BIDDERS SHALL FULLY REVIEW THE PROJECT DOCUMENTS AND VISIT THE PROJECT SITE TO BECOME COMPLETELY FAMILIAR WITH THE SCOPE OF WORK, INCLUDING EXISTING CONDITIONS AND MATERIALS, PRIOR TO BIDDING.
- THE INTENTION OF THESE DOCUMENTS IS TO PROVIDE THE OWNER WITH A COMPLETE PROJECT IN ITS ENTIRETY AT THE TIME OF OCCUPANCY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE ARCHITECT DURING THE BIDDING PHASE WITH ANY DETAILS THAT ARE MISSING, VAGUE, OR INCOMPLETE SO THAT THE APPROPRIATE ADDENDUM CAN BE ISSUED. THE CONTRACTOR OF RECORD SHALL PROVIDE ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, AND SERVICES NECESSARY FOR A COMPLETE, FUNCTIONAL, AND OPERATIONAL FACILITY OR PROJECT.
- MATERIALS AND WORK SHALL BE FURNISHED, INSTALLED, AND COMPLETED IN STRICT ACCORDANCE WITH PROVISIONS OF THE LATEST EDITION OF APPLICABLE BUILDING CODES, AMENDMENTS, ADOPTED STANDARDS, REGULATIONS, LOCAL ORDINANCES, AND FEDERAL LEGISLATION.
- THESE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- THE MINIMUM QUALITY OF WORK SHALL BE BASED ON INDUSTRY STANDARDS FOR RESPECTIVE TRADES (I.E. ANSI, AHRAE, ASTM, AWI, BHMA, DHI, GYPSUM ASSOCIATION (GA), NFPA, SMACNA, ETC.) WHERE ONE OR MORE OF THE STANDARDS ARE IN CONFLICT, THE BETTER QUALITY OF WORK SHALL APPLY.
- THE WORD "PROVIDE" MEANS "TO FURNISH AND INSTALL"
- UNLESS NOTED OTHERWISE DIMENSIONS ARE FROM FACE OF CONCRETE, STUD, OR FRAMING. DIMENSIONS ARE SHOWN ON DRAWINGS. ANY DIMENSIONS THAT ARE NOT SHOWN OR DEEMED QUESTIONABLE SHALL BE VERIFIED WITH ARCHITECT. DO NOT SCALE DRAWINGS.
- NO GREATER THAN 1/2" CHANGE IN ELEVATION ALLOWED AT HANDICAPPED ENTRANCES.
- PROVIDE WOOD BLOCKING SUPPORT AT ALL SURFACE MOUNTED ITEMS MOUNTED TO THE FACE OF GYPSUM WALLBOARD.
- PROVIDE MISCELLANEOUS SUPPORT FOR ALL CEILING SUPPORTED ITEMS AND ANY OTHER ITEMS REQUIRING MISCELLANEOUS SUPPORT.
- CAULK JUNCTURES BETWEEN DIFFERENT MATERIALS ALONG WITH ANY AND ALL PENETRATIONS TO SEAL AGAINST ANY TYPE OF ENERGY LOSS.
- THE G.C. SHALL MAINTAIN THE LATEST ISSUE OF STAMPED AND SIGNED PLANS CONTAINING ALL SHEETS AS LISTED IN THE SHEET INDEX ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE G.C. ALL OTHER CONTRACTORS, AND ALL SUB-CRONTACTORS SHALL COORDINATE THEIR WORK WITH ALL ADJACENT WORK AND SHALL COORDINATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK AND FOR THE STORAGE OF THEIR MATERIALS.

PROJECT INFORMATION

BUILDING ADDRESS: DEER CREEK FISH AND WILDLIFE AREA
2001 WEST COUNTY ROAD 600 SOUTH
GREENCASTLE, IN 46135
(765) 653-0453

COUNTY: PUTNAM

OCCUPANCY TYPE: S-1

CONSTRUCTION TYPE: TYPE VB

ENERGY CODE ZONE: 5

ZONING AUTHORITIES: N/A

BUILD-OUT AREA: 5,848 S.F. (gross)

ALLOWABLE AREA: 9,000 S.F. (gross) PER TABLE 503

OCCUPANT LOAD: 28 PEOPLE

BUILDING HEIGHT: 23'-1"

BUILDING STORIES: 1

BUILDING CODE

BUILDING CODE EDITION: 2014 INDIANA BUILDING CODE (2012 IBC)

MECHANICAL CODE EDITION: 2014 INDIANA MECHANICAL CODE (2012 IMC)

ELECTRICAL CODE EDITION: 2009 INDIANA ELECTRICAL CODE (NFPA 70-2008)

FIRE PREVENTION CODE: 2014 INDIANA FIRE CODE (2012 IFC)

PLUMBING CODE EDITION: 2012 IPC W/ INDIANA AMMENDMENTS

ACCESSIBILITY CODE: 2014 INDIANA ACCESSIBILITY CODE

ENERGY CODE: INDIANA ENERGY CONSERVATION CODE
ANSI/ASHRAE 90.1 (2007)

COMCHECK ENVELOPE

WALL R-VALUE: R-19 CAVITY, R-5 MIN. CONTINUOUS

OH DOOR R-VALUE: R-17.40

ATTIC R-VALUE: R-38 CAVITY, R-19 MIN. CONTINUOUS

WINDOWS: U-.3 MAX

MAN DOORS: U-.6 MAX

DESIGNERS OF RECORD

ARCHITECTURAL: STATE OF INDIANA
DEPARTMENT OF NATURAL RESOURCES

ELECTRICAL: DIVISION OF ENGINEERING
ROOM W299, INDIANA GOVERNMENT CENTER SOUTH

STRUCTURAL:



EROSION CONTROL:



DRAWINGS INDEX

GENERAL

G-1 DRAWINGS INDEX, LOCATION MAP

CIVIL

C-1 SITE PLAN, BASE BID
C-2 SITE PLAN, ALTERNATE #1
C-3 SITE PLAN, ALTERNATE #2
D-1 UTILITIES PLAN

EROSION CONTROL:

1 COVER
2 EROSION CONTROL INDEX
3 EROSION CONTROL REFERENCES
4 STORM WATER POLLUTION PREVENTION PLAN
5 EROSION CONTROL DETAILS

STRUCTURAL

S-0 GENERAL NOTES
S-1 FOUNDATION / SLAB PLAN
S-2 WALL TYPE AND LINTEL PLAN
S-3 ROOF FRAMING PLAN
S-4 FOUNDATION DETAILS
S-5 FOUNDATION DETAILS
S-6 FOUNDATION DETAILS
S-7 FRAMING DETAILS
S-8 FRAMING DETAILS

ARCHITECTURAL

A-1 FLOOR PLAN
A-2 REFLECTED CEILING PLAN, ROOF PLAN
A-3 BUILDING ELEVATIONS
A-4 WALL SECTIONS
A-5 WALL SECTIONS, DOOR AND WINDOW SCHEDULE & DETAILS

MECHANICAL

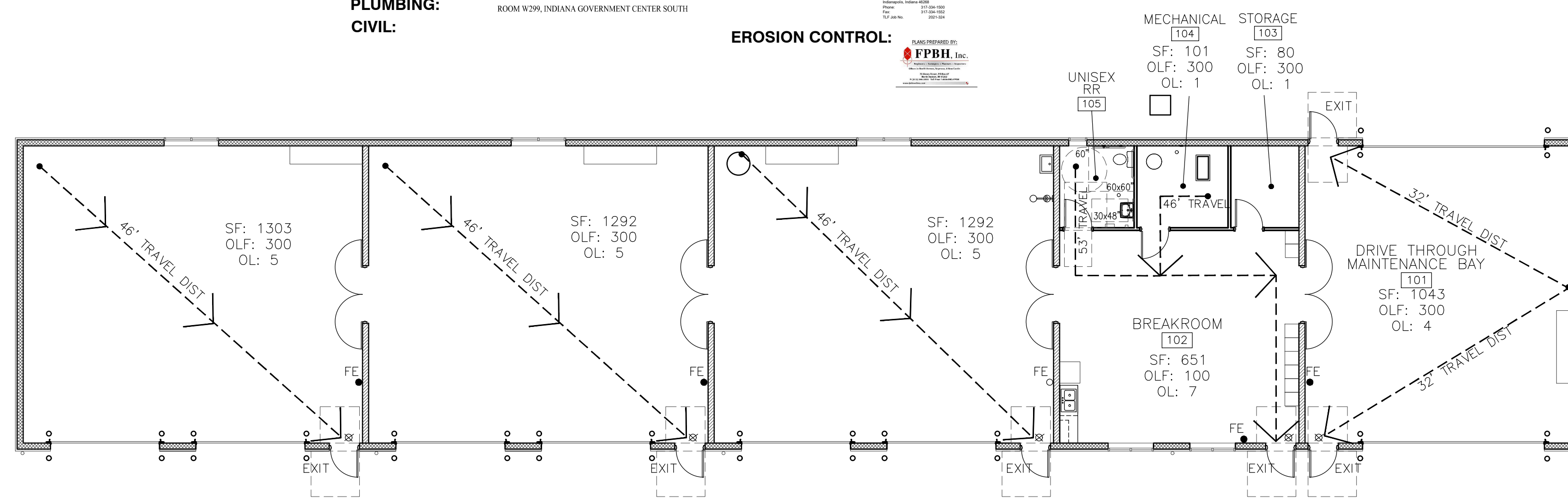
M-1 MECHANICAL PLAN & SECTION

PLUMBING

P-1 PLUMBING SANITARY PLAN
SANITARY ISOMETRIC, DETAIL
P-2 PLUMBING SUPPLY PLAN
SUPPLY ISOMETRIC, DETAIL

ELECTRICAL

E-1 ELECTRICAL POWER PLAN
E-2 ELECTRICAL LIGHTING PLAN



LIFE SAFETY LEGEND

FE FIRE EXTINGUISHER LOCATION

EXIT SIGN

EXIT DISCHARGE

DEER CREEK
LIFE SAFETY FLOOR PLAN
SCALE: 1" = 10'-0"



F&W Maintenance Building - Deer Creek

Deer Creek Fish & Wildlife Area
DEPT. OF NATURAL RESOURCES

2001 W. County Road 600 S
Greencastle, IN 46135



STATE OF INDIANA
DEPARTMENT OF NATURAL RESOURCES
DIVISION OF ENGINEERING
ROOM W299, INDIANA GOVERNMENT CENTER SOUTH
402 WEST WASHINGTON STREET
INDIANAPOLIS, INDIANA 46204
TEL: 317-232-4150, FAX: 317-231-1205

Revisions:
1 06/28/23

Project Number:
ENG2002905497

Requisition Number:
Requisition#

Designer:
MEJ Drawing Date:
05/24/23

Drafter:
NS Drawing Scale:
AS NOTED

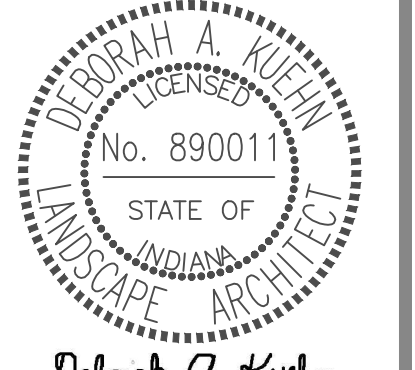
DNR Approval:

Client Approval:

File Number:
130-003

Drawing Number:
G-1

Sheet:
1 of 24



Deborah A. Kuhn
Certified by:

F & W Maintenance Building - Deer Creek
Deer Creek Fish and Wildlife Area
DEPT. OF NATURAL RESOURCES
2001 W County Road 600 S
Greencastle, IN 46135



STATE OF INDIANA
DEPARTMENT OF NATURAL RESOURCES
DIVISION OF ENGINEERING
ROOM W-299, INDIANA GOVERNMENT CENTER SOUTH
402 WEST WASHINGTON STREET
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TEL: 317-232-4150; FAX: 317-232-1205

Revisions:

Project Number:
ENG2022905497

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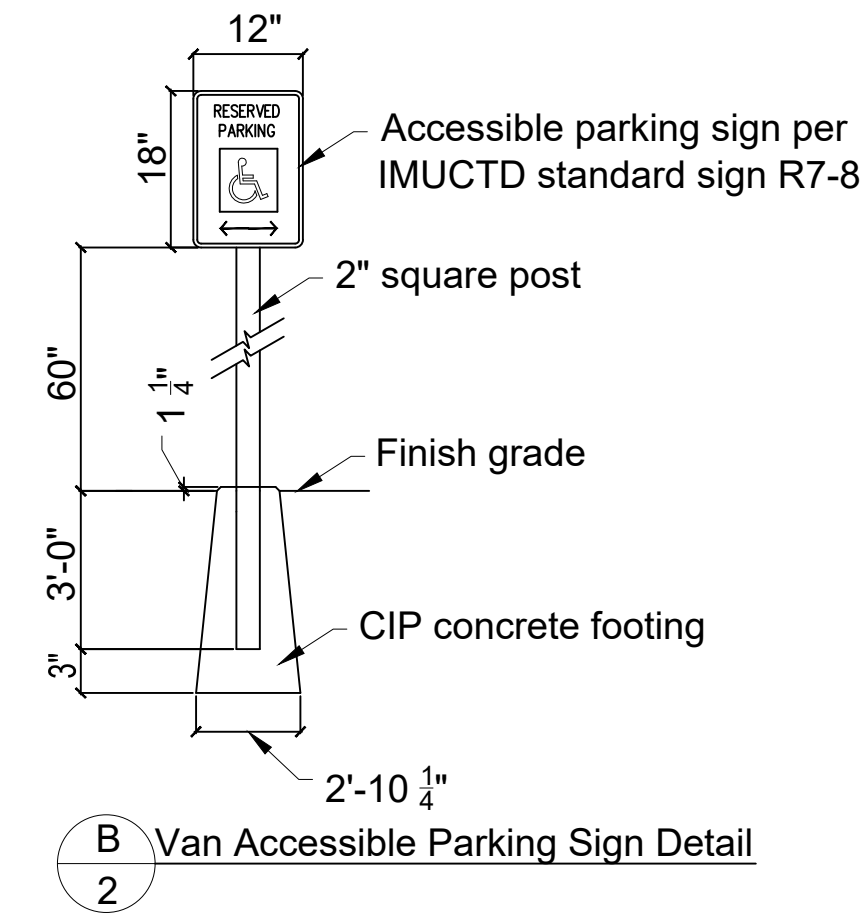
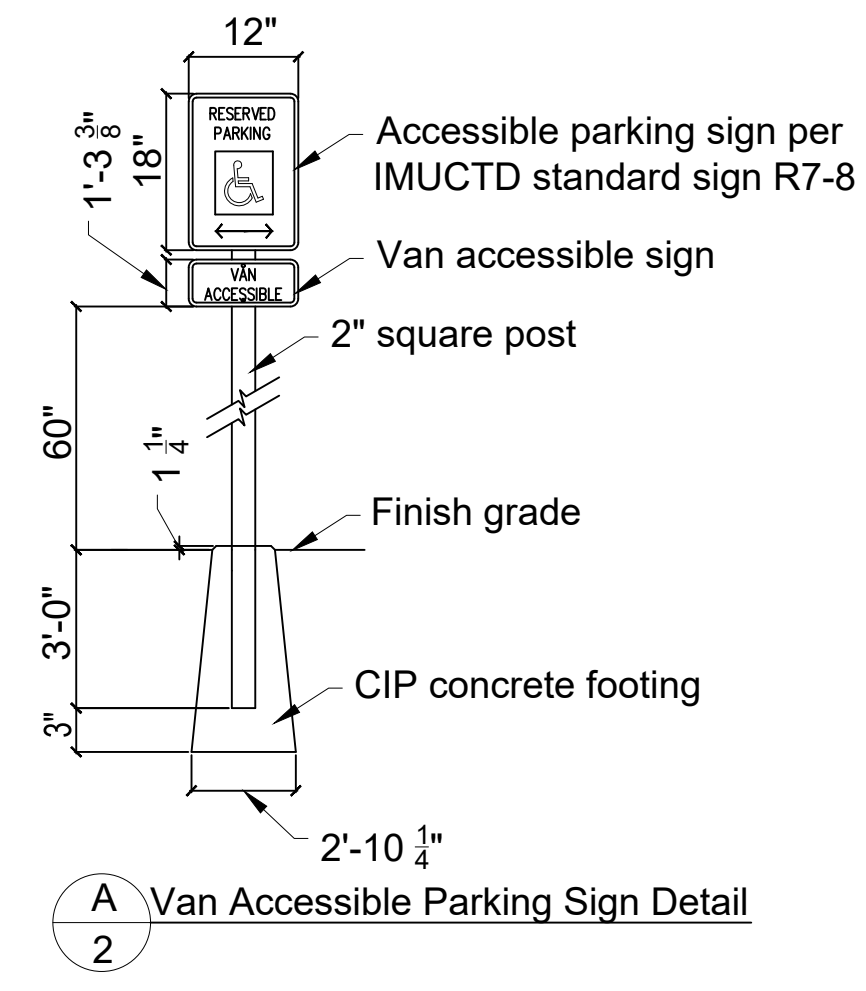
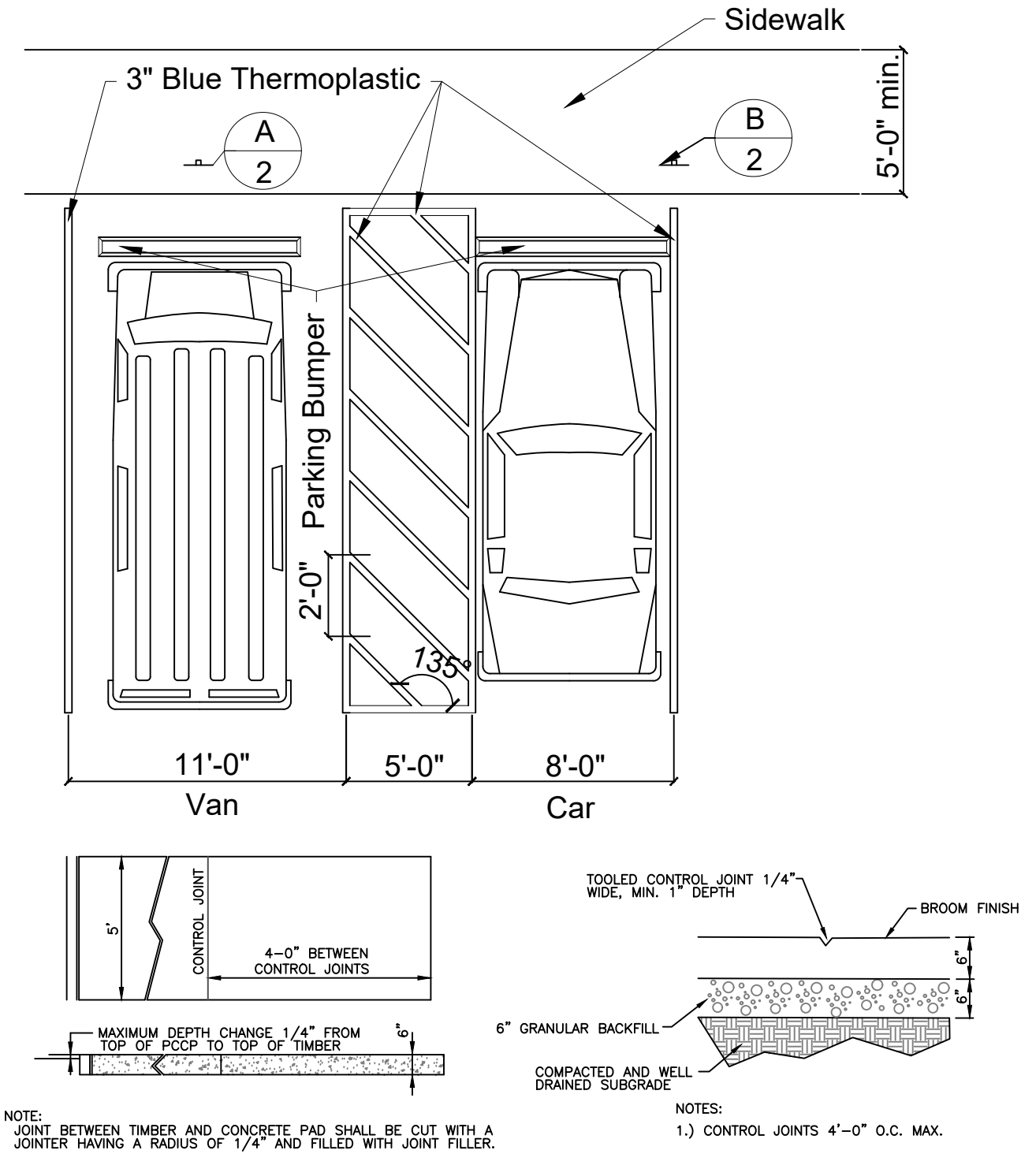
Designer: D.A.K.	Drawing Date: 5/24/23
Drafter: D.A.K.	Drawing Scale: 1"=30'
DNR Approval:	

Client Approval:

File Number:

Drawing Number:

Sheet: **C-1**
of



July 26, 2023, 9:20am, S:\ACTIVE\PROJECTS\FISH & WILDLIFE\DEER CREEK\FISH & WILDLIFE\DEER CREEK\DWG\C-1.dwg, Deer Creek - Shop Building, 01-10-2020\CAD\1301000_C-2_Site Plan.dwg

