Appendix D: Section 106 of the NHPA

FEDERAL HIGHWAY ADMINISTRATION'S SECTION 4(F) COMPLIANCE REQUIREMENTS (for historic properties) AND SECTION 106 FINDINGS AND DETERMINATIONS AREA OF POTENTIAL EFFECTS ELIGIBILITY DETERMINATIONS EFFECT FINDING STATE ROAD 827 ROAD IMPROVEMENT PROJECT IN THE TOWN OF FREMONT, FREMONT TOWNSHIP, STEUBEN COUNTY, INDIANA DES. NO.: 1601102

AREA OF POTENTIAL EFFECTS

(Pursuant to 36 CFR Section 800.4(a)(1))

The Area of Potential Effects (APE) was generally drawn to extend to properties adjacent to the undertaking, with consideration given for potential visual or auditory impacts. The APE for archaeology was the project footprint. (See Appendix A: Maps and Site Plans and Appendix F: Plans.)

ELIGIBILITY DETERMINATIONS

(Pursuant to 36 CFR 800.4(c)(2))

As a result of Section 106 identification and evaluation efforts, no properties in the APE are listed in the National Register of Historic Places (NRHP). Three resources in the APE are eligible for listing in the NRHP: the Erastus Farnham House (IHSSI No.: 151-017-05031); the Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023); and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043).

Erastus Farnham House (IHSSI No.: 151-017-05031) — Built around 1860, this two-story Italianate-style dwelling has a cut stone foundation, red brick walls, and a cross-hipped roof. The house features abundant Italianate-style details. A hipped roof porch wraps around the north and east sides of the house supported by wooden posts on square wooden bases that are topped by sawn spandrels. This house is eligible under Criteria A for Exploration/Settlement and C for Architecture. The period of significance is 1860 to 1900.

Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023) — The Fremont Historic Commercial District includes twenty-three resources located around the intersection of SR 120/Toledo Street and SR 827/Wayne Streets in the heart of Fremont. Resources date from circa 1855 to circa 2015 and include commercial buildings, buildings associated with fraternal organizations, a gas station, and a historic marker. Most buildings stand two or three stories tall and represent the Italianate style of commercial architecture, while a few are more functional or modern in design. The district is recommended for listing in the NRHP under Criterion A for Community Planning and Development. The district is also recommended for listing under Criterion C for Architecture. The period of significance spans from the 1850s to about 1900.

Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043) — Built in 1901 at the corner of South Wayne and Albion Streets, this brick-veneered building features a corner entrance facing the intersection, which most likely served as the primary entrance for the newspaper office portion. Topped by a hipped roof with wide, boxed eaves and two hipped dormers, the building is situated on a concrete foundation. It features simple Italianate-style details. This house is eligible under Criteria A for Communication and Community Development and C for Architecture. The period of significance is circa 1901 to circa 1970, the period of operation for the paper.

EFFECT FINDING

Erastus Farnham House (IHSSI No.: 151-017-05031)—No Adverse Effect Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023)—No Adverse Effect Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043)—No Adverse Effect

The Indiana Department of Transportation (INDOT), acting on behalf of the Federal Highway Administration (FHWA), has determined a finding of "No Adverse Effect" is appropriate for this undertaking. INDOT respectfully

requests the Indiana State Historic Preservation Officer provide written concurrence with the Section 106 determination of "No Adverse Effect."

SECTION 4(F) COMPLIANCE REQUIREMENTS (for no historic properties)

Erastus Farnham House (IHSSI No.: 151-017-05031) — The undertaking will not convert property from the Erastus Farnham House, a Section 4(f) historic property, to a transportation use; therefore, no Section 4(f) evaluation is required.

Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023) — The undertaking will not convert property from the Fremont Historic Commercial District, a Section 4(f) historic property, to a transportation use; therefore, no Section 4(f) evaluation is required.

Warren D. Wells House/*Fremont Eagle Office (IHSSI No.: 151-017-07043)* — The undertaking will not convert property from the Warren D. Wells House/*Fremont Eagle Office*, a Section 4(f) historic property, to a transportation use; therefore, no Section 4(f) evaluation is required.

Anuradha V. Kumar

Anuradha V. Kumar, Manager, INDOT Cultural Resources

10/28/2020

Approved Date

FEDERAL HIGHWAY ADMINISTRATION'S DOCUMENTATION OF SECTION 106 FINDING OF NO ADVERSE EFFECT SUBMITTED TO THE STATE HISTORIC PRESERVATION OFFICER PURSUANT TO 36 CFR Section 800.5(c) STATE ROAD 827 ROAD IMPROVEMENT PROJECT IN THE TOWN OF FREMONT, FREMONT TOWNSHIP, STEUBEN COUNTY, INDIANA DES. NO.: 1601102

1. DESCRIPTION OF THE UNDERTAKING

The Indiana Department of Transportation (INDOT), with funding from the Federal Highway Administration (FHWA), is proposing the improvement of State Road (SR) 827 in Fremont, Steuben County, Indiana. Section 106 of the National Historic Preservation Act requires Federal agencies to take into account the effects of their undertakings on historic properties. The federal involvement is funding from the FHWA.

The current preferred alternative consists of a hot mix asphalt (HMA) overlay with minor structural pavement rehabilitation and sections of full pavement replacement. Additionally, approximately 1,445 feet of SR 827/Wayne Street will be realigned from just south of Swager Road to just north of Broad Street. The realignment alternative will shift the intersection of Swager Road and SR 827/Wayne Street approximately 40 feet to the west. Due to this realignment, the railroad crossing at SR 827/Wayne Street and Swager Road will be moved southwest, which is farther away from the intersection of Swager Road and allows for movement of vehicles while a train is present. The roadway realignment will eliminate one set of existing reverse curves that are located just south of the railroad crossing. Two culverts within the project area will be replaced. These culverts both cross under SR 827/Wayne Street with one located just south of McSwain Drive and the second culvert is located 570 feet north of Broad Street. A new storm sewer with drainage inlets will be installed in curbed segments and drain to the existing detention pond located north of the intersection of SR 827 and Broad Street, near the cemetery. The detention pond will be expanded to handle the increase in runoff. Existing curb will be replaced with curb and gutter. New curb and gutter will be extended south to Swager Road. Storm sewer and curb inlets will be added to the curb and gutter sections. Curb ramps and sections of sidewalk throughout the project area will be reconstructed as needed to be Americans with Disabilities Act (ADA)-compliant (Appendix A: Maps and Site Plans and Appendix F: Plans).

The Area of Potential Effects (APE) is "the geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist. The area of potential effects is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by the undertaking." [36 CFR § 800.16(d)]

The APE for this project was generally drawn to include properties that were adjacent to or had a view of the project area. The APE for archaeology is the project footprint (Appendix A: Maps and Site Plans).

2. EFFORTS TO IDENTIFY HISTORIC PROPERTIES

Pursuant to 36 CFR § 800.4(b), staff for Weintraut & Associates, Inc. (W&A) reviewed the list of properties in the National Register of Historic Places (National Register), National Historic Landmarks (NHL) Program, Indiana Register of Historic Sites and Structures (State Register), Historic American Buildings Survey/Historic American Engineering Record (HABS/HAER), State Historical Architectural and Archaeological Research Database (SHAARD), Indiana Historic Buildings, Bridges, and Cemeteries Map, IHSSI survey cards, the *Steuben County Interim Report* (2008), and the *Indiana Historic Bridge Inventory* for previously identified properties. They also reviewed prior Section 106 studies in the Steuben County area completed by W&A. Historians also examined primary and secondary resources. Documentary research for the project included a review of county histories, aerial photographs, and online resources.

On July 12, 2019, the following potential consulting parties received an invitation to join in consultation:

- Eastern Shawnee Tribe of Oklahoma
- Forest County Potawatomi Community
- Miami Tribe of Oklahoma
- Peoria Tribe of Indians of Oklahoma
- Pokagon Band of Potawatomi Indians
- Fremont Town Council
- Steuben County Board of Commissioners
- Region III-A Economic Development District & Regional Planning Commission
- Indiana Landmarks Northern Regional Office
- Steuben County Historian
- Fremont Historical Society
- Steuben County Historical Society
- Fremont Area Chamber of Commerce
- Steuben County Highway Department
- Steuben County Economic Development Commission
- Steuben County Genealogical Society

The invitation directed recipients to access the early coordination letter (ECL) and on INDOT's online document portal (INSCOPE). INDOT was copied on the correspondence. The Indiana SHPO is a designated consulting party and was also provided a paper copy of this letter (Appendix B: Correspondence and Appendix C: Consulting Parties).

On August 5, 2019 in response to the ECL, the staff of the SHPO responded that "we are not aware of any parties who would be entitled to become consulting parties for purposes of the review of this project under Section 106." The letter asked that after the thirty-day comment period the SHPO be provided the names and email addresses of any invited parties that accepted consulting party status (Appendix B: Correspondence).

On August 12, 2019, the Forest County Potawatomi Community responded to the invitation to consult and requested a copy of the archaeological study and SHPO clearance letter related to the project (Appendix B: Correspondence).

On August 12, 2019, the Miami Tribe of Oklahoma responded to the invitation to consult "offering no objection to the project." The Miami noted that the project area is in their aboriginal homelands and asked to be contacted immediately "if any human remains or Native American cultural items falling under the Native American Graves Protection and Repatriation Act (NAGPRA) or archaeological evidence is discovered during any phase of this project..." (Appendix B: Correspondence).

On September 4, 2019, historians for W&A conducted a field reconnaissance of the APE for above-ground resources in response to a request from American Structurepoint (Structurepoint)—INDOT's consultant for this project. During the survey, historians walked and drove the APE, recorded survey notes, took photographs of properties more than fifty years of age from the approximate time of letting (2021) within the APE, and photographed representative views of the APE (Appendix A: Maps and Site Plans and Appendix D: Photographs).

Pursuant to 36 CFR § 800.4(b), W&A staff archaeologists conducted a Phase Ia records check on October 16, 2019, and a field reconnaissance between November 1 and 6, 2019.

W&A prepared a Historic Property Report (HPR [Fivecoat, February 2020]) and recommended the Erastus Farnham House (IHSSI No.: 151-017-05031), the Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023); and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043), eligible for listing in the NRHP. On March 24, 2020, consulting parties were provided with instructions to access the HPR and its transmittal letter on INSCOPE; a paper copy was mailed to the Indiana SHPO. That same day, a

copy of this notification was sent to the property owners of the Warren D. Wells / Fremont Eagle Office and the Erastus Farnham House (Appendix B: Correspondence and Appendix E: Report Summaries).

In correspondence dated April 21, 2020, the staff of the SHPO agreed that the APE utilized in the HPR "appears to encompass the geographic area in which this project could cause effects." The letter also agreed with the recommendations of the HPR that the Erastus Farnham House (IHSSI No.: 151-017-05031); the Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023); and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043) were eligible for the NRHP and the proposed historic boundaries. However, because permanent right-of-way will be required, SHPO staff asked that they and all other consulting parties "be provided with at least preliminary plans showing proposed roadway improvements in the vicinity of each of the above-ground historic properties" [Note: project plans were provided to consulting parties with the distribution letter for the Archaeology Report on June 3, 2020 and again with the Effects Report on July 7, 2020] (Appendix B: Correspondence).

On April 22, 2020, the property owner of the Erastus Farnham House (205 Swager Road/ IHSSI No.: 151-017-05031) asked to be added as a consulting party and to be provided email and paper copy versions of all future correspondence/reports (Appendix B: Correspondence).

In May 2020, W&A completed an Archaeological Records Check and Phase Ia Reconnaissance Report (AR) (Arnold, May 2020). Six previously undocumented archaeological resources were identified within the project area—archaeological sites 12SN0217 through 12SN0222. Within the surveyed area, none of these sites exhibited the research potential and integrity requisite for listing in the IRHSS or NRHP under Criterion D and no further work was recommended. The archaeological report noted that the remainder of sites 12SN0217 and 12SN0220 extend beyond the survey limits and remain undefined and unassessed. Arnold recommended further work for these sites if construction plans are altered and the current survey area is extended beyond the proposed right-of-way in the area of these sites (Appendix E: Report Summaries).

On June 3, 2020, directions on how to access the AR, a distribution letter, and a set of project plans on INSCOPE were sent to participating Tribes and to the Indiana SHPO. A paper copy of the AR and project plans were sent to the office of the Indiana SHPO (Appendix B: Correspondence).

On June 26, 2020, the staff of the SHPO responded to the AR, distribution letter, and project plans. The letter stated that the Indiana SHPO concurred with the opinion of the archaeologist...that the portions of the archaeologist sites 12Sn217, 12Sn218, 12Sn219, and 12Sn220 surveyed for this project do not appear eligible for inclusion in the NRHP." The letter also affirmed that the boundaries of these sites "extend beyond the surveyed limits of this project and that if the project boundaries should change in these locations, further archaeological investigations will be necessary to delineate the site boundaries and provide an evaluation for inclusion in the NRHP...." The letter also stated that archaeological sites 12Sn221 and 12Sn222 do not appear eligible for the NRHP and that no further archaeological investigations are necessary¹ (Appendix B: Correspondence).

The letter noted that should "any prehistoric or historic archaeological artifacts or human remains are uncovered during construction, demolition, or earthmoving activities, state law (Indiana Code 14-21-1-27 and -29) requires that the discovery be reported to INDNR-DHPA within two (2) business days" (Appendix B: Correspondence).

Regarding above-ground historic properties, the staff of the Indiana SHPO reiterated their agreement with the three above-ground properties identified as eligible for listing in the National Register in the HPR, including the Erastus Farnham House, the Fremont Historic Commercial District, and the Warren D. Wells House/*Fremont Eagle* Office. The letter also stated that after looking at the plans for the current, preferred alternative project area provided with the distribution letter, the SHPO staff did not think that the project would adversely affect the historic properties, as long as the proposed project scope or alignment is not modified in the vicinity of these

¹ There appears to be a typographical error in the Indiana SHPO letter dated June 26, 2020, which states that "archaeological sites 12Sn221 and 12Sn221 do not appear eligible for inclusion in the NRHP" In paragraph two. It appears that the text should read "archaeological sites 12Sn221 and 12Sn222."

properties. Finally, the letter noted "that unless another consulting party expresses concern about the project's effect on a historic property, we think it might now be appropriate to ask INDOT for a finding" (Appendix B: Correspondence).

On July 4, 2020, The Forest County Potawatomi Community responded to the AR and copy of the project plans and offered a finding of "no historic properties affected." The letter noted that the Tribal Historic Preservation Officer (THPO) would reconsider the finding if SHPO comments disagreed. The Tribe also noted that if "human remains or archaeological materials are exposed as a result of project activities, work must halt" and the "Tribe must be included in any consultation regarding treatment and disposition of the find prior to removal" (Appendix B: Correspondence).

3. DESCRIBE AFFECTED HISTORIC PROPERTIES

Three resources in the APE are eligible for listing in the NRHP: the Erastus Farnham House (IHSSI No.: 151-017-05031); the Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023); and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043).

Erastus Farnham House (IHSSI No.: 151-017-05031) — Built around 1860, this two-story Italianate-style dwelling has a cut stone foundation, red brick walls, and a cross-hipped roof. The house features abundant Italianate-style details, including round-arched window and door openings framed by brick arches and stone sills, paired sawn cornice brackets, and a large pyramidal-roofed cupola. A hipped roof porch wraps around the north and east sides of the house supported by wooden posts on square wooden bases that are topped by sawn spandrels. This house is eligible under Criteria A for Exploration/Settlement and C for Architecture. The period of significance is 1860 to 1900.

Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023) — The Fremont Historic Commercial District includes twenty-three resources located around the intersection of SR 120/Toledo Street and SR 827/Wayne Streets in the heart of Fremont. Resources date from circa 1855 to circa 2015 and include commercial buildings, buildings associated with fraternal organizations, a gas station, and a historic marker. Most buildings stand two or three stories tall and represent the Italianate style of commercial architecture, while a few are more functional or modern in design. The district is recommended for listing in the NRHP under Criterion A for Community Planning and Development. The district is also recommended for listing under Criterion C for Architecture. The period of significance spans from the 1850s to about 1900.

Warren D. Wells House/*Fremont Eagle Office* (IHSSI No.: 151-017-07043) — Built in 1901 at the corner of South Wayne and Albion Streets, this brick-veneered building features a corner entrance facing the intersection, which most likely served as the primary entrance for the newspaper office portion. Topped by a hipped roof with wide, boxed eaves and two hipped dormers, the building is situated on a concrete foundation. It features simple Italianate-style details, most notably with double rows of bricks forming segmental arches over the windows and entrances. This house is eligible under Criteria A for Communication and Community Development and C for Architecture. The period of significance is circa 1901 to circa 1970, the period of operation for the paper.

4. DESCRIBE THE UNDERTAKING'S EFFECTS ON HISTORIC PROPERTIES

Erastus Farnham House (IHSSI No.: 151-017-05031) — The undertaking will resurface SR 827/Wayne Street with HMA overlay and realign the roadway near Swager Road, shifting it about forty feet north of Swager Road, near the historic property. The roadway realignment will eliminate one set of existing reverse curves that are located just south of the railroad crossing. Project changes will upgrade SR 827/Wayne Street and remain outside the historic property boundary of this resource. Project changes may cause a minor alteration in the view from this resource; however, the undertaking will not diminish the characteristics that make the property eligible for the NRHP.

Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023) — The undertaking will resurface SR 827/Wayne Street with HMA overlay, reconstruct the existing curbs, replacing it with curb and

gutter, and install storm sewer and curb inlets along SR 827/Wayne Street through the historic district. The project will also reconstruct curb ramps and sections of sidewalk as needed to be ADA-compliant. Project changes will take place within the historic district but will not encroach on contributing properties or elements of the district. Project changes may cause minor alterations in the views from the district; however, the undertaking will not diminish the characteristics that make the property eligible for the NRHP.

Warren D. Wells House/Fremont Eagle Office (IHSSI No.: 151-017-07043) — The undertaking will resurface SR 827/Wayne Street with HMA overlay reconstruct the existing curb near the historic property, replacing it with curb and gutter, and install storm sewer and curb inlets along SR 827/Wayne Street. The project will also reconstruct curb ramps and sections of sidewalk as needed to be ADA-compliant. Project changes do not encroach upon the historic property boundary of the Warren D. Wells House/Fremont Eagle Office, but may cause a minor alteration in the view from this resource; however, the undertaking will not diminish the characteristics that make the property eligible for the NRHP.

5. EXPLAIN THE APPLICATION OF THE CRITERIA OF ADVERSE EFFECT—INCLUDE CONDITIONS OR FUTURE ACTIONS TO AVOID, MINIMIZE, OR MITIGATE ADVERSE EFFECTS

36 CFR § 800.5(a)(1) states: "An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative."

Erastus Farnham House (IHSSI No.: 151-017-05031) — The criteria of adverse effect, as described and defined in 36 CFR § 800.5(a) do not apply. The Erastus Farnham House will be affected by the undertaking, but the effects of the undertaking will not be adverse.

Per 36 CFR § 800.5(a)(2)(i), the undertaking will not cause the "physical destruction of or damage to all or part of the property."

Per 36 CFR § 800.5(a)(2)(ii), there will not be "alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines."

Per 36 CFR § 800.5(a)(2)(iii), there will not be "removal of the property from its historic location."

Per 36 CFR § 800.5(a)(2)(iv), there will not be a change "of the character of the property's use or of physical features within the property's setting that contribute to its historic significance."

Per 36 CFR § 800.5(a)(2)(v), there will not be an "introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features." Mature trees and shrubs screen views from the historic property toward the adjacent railroad tracks at the intersection at Swager Road and SR 827/Wayne Street but some changes may still be visible. Although the changes to the roadway at Swager Road and SR 827 may present minor visual changes to the property, these visual changes do not adversely impact the property's significant historic features and do not present an adverse effect.

Per 36 CFR § 800.5(a)(2)(vi), there will be no neglect or deterioration of the property.

Per 36 CFR § 800.5(a)(2)(vii), there will be no "transfer, lease, or sale of the property out of Federal ownership or control."

Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023) — The criteria of adverse effect, as described and defined in 36 CFR § 800.5(a), do not apply to the Fremont Historic Commercial District. The Fremont Historic Commercial District will be affected by the undertaking, but the effects of the undertaking will not be adverse.

Per 36 CFR § 800.5(a)(2)(i), the undertaking will not cause the "physical destruction of or damage to all or part of the property."

Per 36 CFR § 800.5(a)(2)(ii), there will not be "alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines."

Per 36 CFR § 800.5(a)(2)(iii), there will not be "removal of the property from its historic location."

Per 36 CFR § 800.5(a)(2)(iv), there will not be a change "of the character of the property's use or of physical features within the property's setting that contribute to its historic significance."

Per 36 CFR § 800.5(a)(2)(v), there will not be an "introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features." The replacement and/or alteration of existing curbs and sidewalks along SR 827/Wayne Street within the historic district will be visible and will introduce minor visual changes. However, the Fremont Historic Commercial District currently has concrete curbs, gutters, and sidewalks so these visual changes will not adversely impact the property's significant historic features and do not present an adverse effect.

Per 36 CFR § 800.5(a)(2)(vi), there will be no neglect or deterioration of the property.

Per 36 CFR § 800.5(a)(2)(vii), there will be no "transfer, lease, or sale of the property out of Federal ownership or control."

Warren D. Wells House/Fremont Eagle Office (IHSSI No.: 151-017-07043) — The criteria of adverse effect, as described and defined in 36 CFR § 800.5(a), do not apply to the Warren D. Wells House/Fremont Eagle Office. The property will be affected by the undertaking, but the effects of the undertaking will not be adverse.

Per 36 CFR § 800.5(a)(2)(i), the undertaking will not cause the "physical destruction of or damage to all or part of the property."

Per 36 CFR § 800.5(a)(2)(ii), there will not be "alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines."

Per 36 CFR § 800.5(a)(2)(iii), there will not be "removal of the property from its historic location."

Per 36 CFR § 800.5(a)(2)(iv), there will not be a change "of the character of the property's use or of physical features within the property's setting that contribute to its historic significance."

Per 36 CFR § 800.5(a)(2)(v), there will not be an "introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features." The changes to the SR 827/Wayne Street roadway, curbs, curb ramps, and sidewalks adjacent to the historic property will present minor visual changes to the property. However, the SR 827/Wayne Street area adjacent to the Warren D. Wells House/ *Fremont Eagle* Office currently has concrete curbs, gutters, and sidewalks so these visual changes will not adversely impact the property's significant historic features and do not present an adverse effect.

Per 36 CFR § 800.5(a)(2)(vi), there will be no neglect or deterioration of the property.

Per 36 CFR § 800.5(a)(2)(vii), there will be no "transfer, lease, or sale of the property out of Federal ownership or control."

EFFORTS TO AVOID, MINIMIZE, AND MITIGATE

This project is a road improvement project. Engineers designed the project to minimize effects to the historic resources. These changes included minimizing project activities adjacent to historic properties and designing the realignment of SR 827/Wayne Street near the Erastus Farnham House to eliminate the need for right-of-way from the property (Appendix F: Plans).

On July 7, 2020, consulting parties were provided with instructions to access an Effects Report and a copy of the project plans on INSCOPE and given the opportunity to comment on the project (See Section 6 below) (Appendix B: Correspondence).

6. SUMMARY OF CONSULTING PARTIES AND PUBLIC VIEWS

On August 5, 2019, the staff of the SHPO responded to the early coordination materials. SHPO staff stated that "we are not aware of any parties who would be entitled to become consulting parties for purposes of the review of this project under Section 106." The letter asked that SHPO be provided the names and email addresses of any invited parties that accepted consulting party status (Appendix B: Correspondence).

On August 12, 2019, the Forest County Potawatomi Community responded to the invitation to consult. Their email stated that based on information in the early coordination letter regarding earth moving associated with the work, the THPO requested a copy of the archaeological study and SHPO clearance letter related to the project (Appendix B: Correspondence).

On August 12, 2019, the Miami Tribe of Oklahoma responded to the invitation to consult "offering no objection to the project." The Miami noted that the project area is in their aboriginal homelands and asked to be contacted immediately "if any human remains or Native American cultural items falling under the Native American Graves Protection and Repatriation Act (NAGPRA) or archaeological evidence is discovered during any phase of this project..." (Appendix B: Correspondence.)

In correspondence dated April 21, 2020, the staff of the SHPO agreed that the APE utilized in the HPR "appears to encompass the geographic area in which this project could cause effects." The letter also agreed with the recommendations of the HPR that the Erastus Farnham House (IHSSI No.: 151-017-05031); the Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023); and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043) were eligible for the NRHP and the proposed historic boundaries. However, because permanent right-of-way will be required, SHPO staff asked that they and all other consulting parties "be provided with at least preliminary plans showing proposed roadway improvements in the vicinity of each of the above-ground historic properties" (Appendix B: Correspondence).

On April 22, 2020, the property owner of the Erastus Farnham House (205 Swager Road) asked to be added as a consulting party and requested that she get email and paper copy versions of all future correspondence/reports (Appendix B: Correspondence).

In correspondence dated April 21, 2020, the staff of the SHPO agreed that the APE utilized in the HPR "appears to encompass the geographic area in which this project could cause effects." The letter also agreed with the recommendations of the HPR that the Erastus Farnham House (IHSSI No.: 151-017-05031); the Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 06023); and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043) were eligible for the NRHP and the proposed historic boundaries. However, because permanent right-of-way will be required, SHPO staff asked that they and all other consulting parties "be

provided with at least preliminary plans showing proposed roadway improvements in the vicinity of each of the above-ground historic properties" (Appendix B: Correspondence).

On June 26, 2020, the staff of the SHPO responded to the AR, distribution letter, and project plans. The letter stated that the Indiana SHPO concurred with the opinion of the archaeologist...that the portions of the archaeologist sites 12Sn217, 12Sn218, 12Sn219, and 12Sn220 surveyed for this project do not appear eligible for inclusion in the NRHP." The letter also affirmed that the boundaries of these sites "extend beyond the surveyed limits of this project and that if the project boundaries should change in these locations, further archaeological investigations will be necessary to delineate the site boundaries and provide an evaluation for inclusion in the NRHP...." The letter also stated that archaeological sites 12Sn221 and 12Sn222 do not appear eligible for the NRHP and that no further archaeological investigations are necessary² (Appendix B: Correspondence).

SHPO added that should "any prehistoric or historic archaeological artifacts or human remains are uncovered during construction, demolition, or earthmoving activities, state law (Indiana Code 14-21-1-27 and -29) requires that the discovery be reported to INDNR-DHPA within two (2) business days" (Appendix B: Correspondence).

Regarding above-ground historic properties, the staff of the Indiana SHPO reiterated their agreement with the three above-ground properties identified as eligible for listing in the National Register in the HPR, including the Erastus Farnham House, the Fremont Historic Commercial District, and the Warren D. Wells House/*Fremont Eagle* Office. The letter also stated that after looking at the plans for the current, preferred alternative project area provided with the distribution letter, the SHPO staff did not think that the project would adversely affect the historic properties, as long as the proposed project scope or alignment is not modified in the vicinity of these properties. Finally, the letter noted "that unless another consulting party expresses concern about the project's effect on a historic property, we think it might now be appropriate to ask INDOT for a finding" (Appendix B: Correspondence).

On July 4, 2020, The Forest County Potawatomi Community responded to the AR and copy of the project plans and offered a finding of "no historic properties affected." The letter noted that the THPO would reconsider the finding if SHPO comments disagreed. The Tribe also noted that if "human remains or archaeological materials are exposed as a result of project activities, work must halt" and the "Tribe must be included in any consultation regarding treatment and disposition of the find prior to removal" (Appendix B: Correspondence).

On July 7, 2020, consulting parties were provided with instructions to access an Effects Report and a copy of the project plans on INSCOPE and given the opportunity to comment on the project (Appendix B: Correspondence).

On July 29, 2020, the Indiana SHPO responded to the Effects Report distributed on July 6, 2020. SHPO staff agreed with the six archaeology sites identified within the area surveyed—12Sn217-12Sn222—and that the portions of these sites within the area surveyed were not eligible for inclusion in the National Register. Additionally, the letter stated that SHPO staff agreed that the only above-ground properties in the APE that are eligible for inclusion in the National Register are the Erastus Farnham House, the Fremont Historic Commercial District, and the Warren D. Wells House/*Fremont Eagle* Office, The SHPO staff stated that "as long as the proposed project scope or alignment is not modified in the vicinity of the archaeological sites 12Sn217 and 12Sn220 or any of the above-ground properties, we do not think this project will adversely affect them." The letter then stated that "it might now be appropriate to ask INDOT for a finding." Finally, the letter advised that adherence to Indiana Code 14-21-1-27 and -29 does not obviate the need to adhere to applicable federal statutes and regulations, including but not limited to 36 C.F.R. Part 800" (Appendix B: Correspondence).

No other comments from consulting parties or the public were received.

² There appears to be a typographical error in the Indiana SHPO letter dated June 26, 2020, which states that "archaeological sites 12Sn221 and 12Sn221 do not appear eligible for inclusion in the NRHP" In paragraph two. It appears that the text should read "archaeological sites 12Sn221 and 12Sn222."

A public notice of "Historic Properties Affected: No Adverse Effect" will be posted in a local newspaper and the public will be afforded thirty (30) days to respond. If appropriate, this document will be revised after the expiration of the public comment period.

Appendices

Appendix A: Maps and Site Plans Appendix B: Correspondence Appendix C: Consulting Parties Appendix D: Photographs Appendix E: Report Summaries Appendix F: Plans

<u>Note:</u> These appendices are part of the Section 106 Finding.

Appendix A: Maps and Site Plans

Note: This is Appendix A of the finding.

SR 827 Fremont Road Improvement Project In the Town of Fremont, Fremont Township, Steuben County, Indiana Des. No.: 1601102

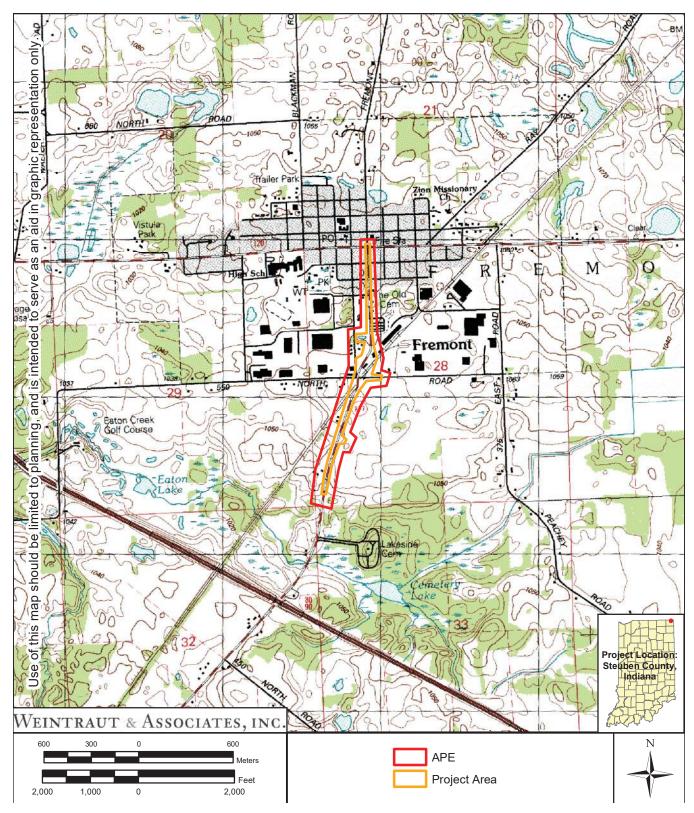


FIGURE I. PROJECT LOCATION AND APE AS SHOWN ON THE ANGOLA EAST, INDIANA, USGS TOPOGRAPHIC QUADRANGLE MAP (1:24,000).

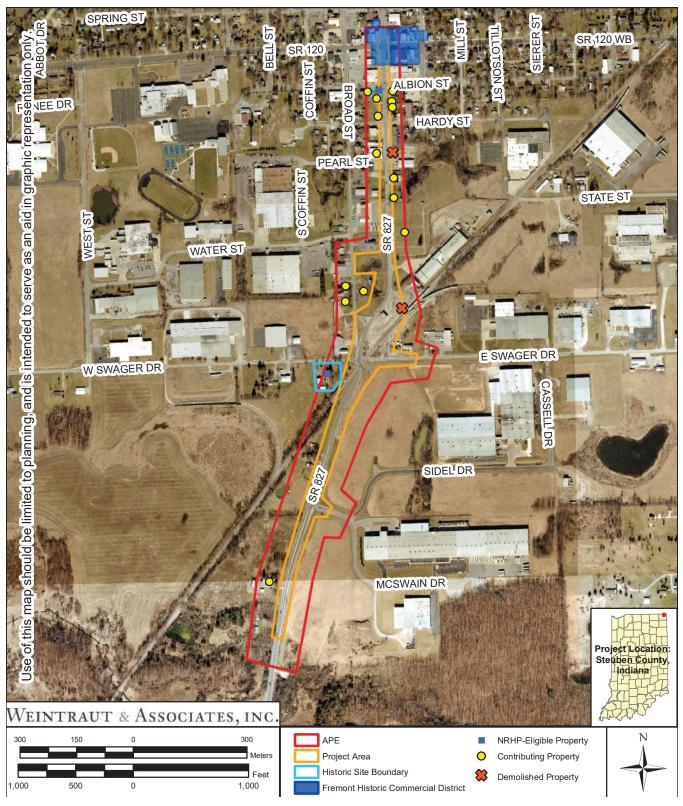
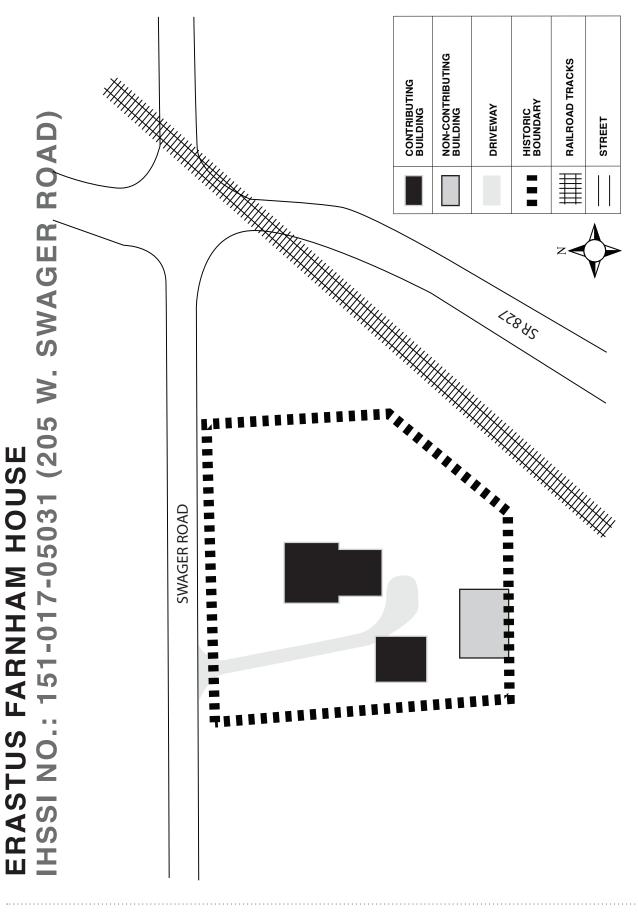
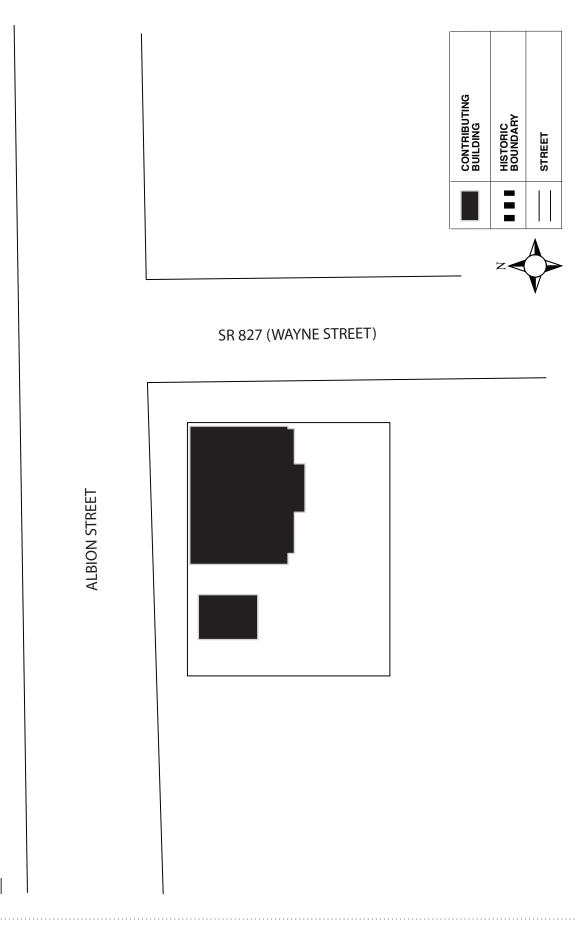


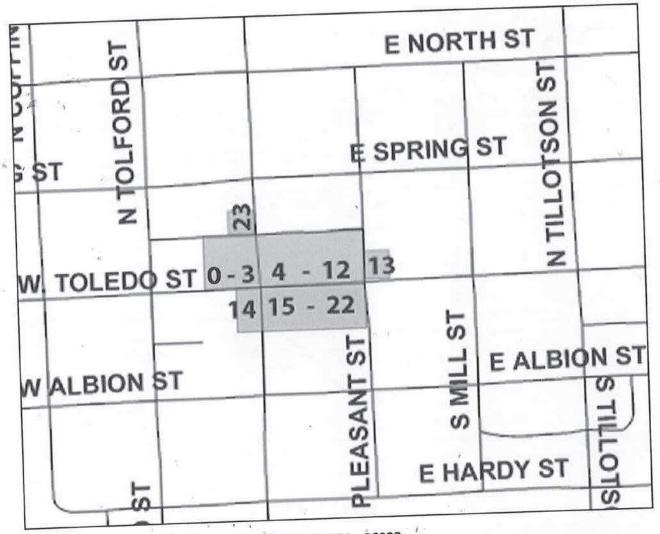
FIGURE 2. PROJECT LOCATION, APE, CONTRIBUTING RESOURCES, AND THE IDENTIFIED HISTORIC BOUNDARY FOR THE NRHP-ELIGIBLE FREMONT COMMERCIAL HISTORIC DISTRICTAND RECOMMENDED HISTORIC BOUNDARIES FOR THE ERASTUS FARNHAM HOUSE, AND THE WELLS HOUSE / FREMONT EAGLE OFFICE, AS SHOWN ON AN AERIAL PHOTOGRAPH (2017).







FREMONT HISTORIC COMMERCIAL DISTRICT IHSSI NOS: 151-017-06001 to 06023



MAP: Fremont Historic Commercial District, 06001 - 06023

Appendix B: Correspondence Note: This is Appendix B of the finding.

SR 827 Fremont Road Improvement Project In the Town of Fremont, Fremont Township, Steuben County, Indiana Des. No.: 1601102 July 12, 2019

This letter was sent to the listed parties.

RE: SR 827 Roadway Improvement Project Des. No. 1601102, beginning 1.06 miles south of SR 120 and extending north to the intersection of State Route (SR) 827 and SR 120, Fremont, Steuben County, Indiana

Dear Consulting Party (see attached list),

The Indiana Department of Transportation (INDOT), with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement project (Des. No. 1601102). American Structurepoint, Inc. is under contract with INDOT to advance the environmental documentation for the referenced project.

This letter is part of the early coordination phase of the environmental review process requesting comments associated with this project. We are requesting comments from your area of expertise regarding any possible environmental effects associated with this project. Please use the above Des. Number and project description in your reply and your comments will be incorporated into the formal environmental study.

The proposed undertaking is on SR 827, beginning 1.06 miles south of SR 120 and extending north to the intersection of SR 827 and SR 120, a distance of 0.93 mile in the town of Fremont in Steuben County, Indiana. It is within Fremont Township on the Angola East USGS 7.5 Minute Quadrangle Maps in Sections 21 and 28, Township 38 North, and Range 14 East.

SR 827 is a two-lane facility within the project limits consisting of two 12 to 15-foot-wide travel lanes, one in each direction. Curbs exist along the roadway from Hardy Street to SR 120. No pedestrian facilities exist from the southern project limits to Swager Road. A sidewalk is located along the east side of the roadway beginning just south of the cemetery between Broad Street and Pearl Street and continuing to Hardy Street. From Hardy Street to SR 120, a sidewalk is located along both sides of the roadway. Existing right-of-way along the project corridor appears to vary from 50 feet to 25 feet east and west of the centerline of the roadway. There are locations within this project area that do not appear to have documented right-of-way.

Drainage within the project limits is primarily by sheet-flow. The roadway segment from Hardy Street to Albion Street is curbed along both sides of the roadway without drainage inlets. The roadway segment from Albion Street to SR 120 is curbed with drainage inlets along both sides of the roadway. The remainder of the project limits sheet flows to open ditches and swales. There are two 12-inch culverts that convey drainage under SR 827. The first culvert is located just south of McSwain Drive and the second culvert is located 570 feet north of Broad Street.

The purpose of the project is to address the deterioration of the existing pavement and sidewalks along with inadequate roadway drainage along SR 827 corridor. The need for the project is that the existing pavement exhibits age-related deterioration, moderate longitudinal and transverse cracking, and deteriorated curbs and sidewalks. Most of the curb ramps along the project corridor do not appear to meet current standards.

The current preferred alternative consists of a hot mix asphalt (HMA) overlay with minor structural pavement rehabilitation and sections of full pavement replacement. Additionally, approximately 1,445 feet of SR 827 would be realigned from just south of Swager Road to just north of Broad Street. One feasible realignment alternative being considered is to shift the intersection of Swager Road and SR 827 approximately 40 feet to the west. Due to this realignment, the railroad crossing at SR 827 and Swager Road would be moved southwest which is further away from the intersection of Swager Road and allows for movement of vehicles while a train is present. The roadway realignment would eliminate one set of existing reverse curves that are located just south of the railroad crossing.

The two culverts within the project area will be assessed to determine if replacement is needed. A new storm sewer with drainage inlets would be installed in curbed segments and drain to the existing detention pond located north of the intersection of SR 827 and Broad Street. The detention pond will be evaluated to determine if it needs to be expanded to handle the increase in runoff. Existing curb would be replaced with curb and gutter. New curb and gutter would be extended south to Swager Road. Storm sewer and curb inlets would be added to the curb and gutter sections. Curb ramps and sections of sidewalk throughout the project area would be reconstructed as needed to be ADA-compliant.

It is anticipated that additional permanent and temporary right-of-way acquisition, greater than 0.50 acre, would be required to complete the proposed project. However, it is unknown at this time how much temporary and permanent right-of-way would be needed. Exact amounts will be determined as the design develops.

Section 106 of the National Historic Preservation Act requires federal agencies to take into account the effects of their undertakings on historic and archaeological properties. In accordance with 36 CFR 800.2 (c), you are hereby requested to be a consulting party to participate in the Section 106 process. Entities that have been invited to participate in the Section 106 consultation process for this project are identified in the attached list. Per 36 CFR 800.3(f), we hereby request that the Indiana State Historic Preservation Officer (SHPO) notify this office if the SHPO staff is aware of any other parties that may be entitled to be consulting parties or should be contacted as potential consulting parties for the project.

The Section 106 process involves efforts to identify historic properties potentially affected by the undertaking, assess its effects and seek ways to avoid, minimize or mitigate any adverse effects on historic properties. For more information regarding the protection of historic resources, please see the Advisory Council on Historic Preservation's guide: *Protecting Historic Properties: A Citizen's Guide to Section 106 Review* available online at https://www.achp.gov/sites/default/files/documents/2017-01/CitizenGuide.pdf .

The Area of Potential Effects (APE) is the area in which the proposed project may cause alterations in the character or use of historic resources. At this time, no cultural resource investigations have occurred; however, the results of cultural resource identification and evaluation efforts, both above-ground and archaeological, will be forthcoming. Consulting parties will receive notification when these reports are completed.

Please review the information and comment within thirty (30) calendar days of receipt. If you indicate that you do not desire to be a consulting party, or if you do not respond, you will not be included on the list of consulting parties for this project. If we do not receive your response in the time allotted, the project will proceed

consistent with the proposed design and you will not receive further information about the project unless the design changes.

For questions concerning specific project details, you may contact Leah Perry of American Structurepoint, Inc. at (317) 547-5580 or <u>lperry@structurepoint.com</u>. All future responses regarding the proposed project should be forwarded to American Structurepoint, Inc. at the following address:

Leah Perry Environmental Specialist American Structurepoint, Inc. 7260 Shadeland Station Indianapolis, IN 46256 <u>lperry@structurepoint.com</u>

Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Sincerely,

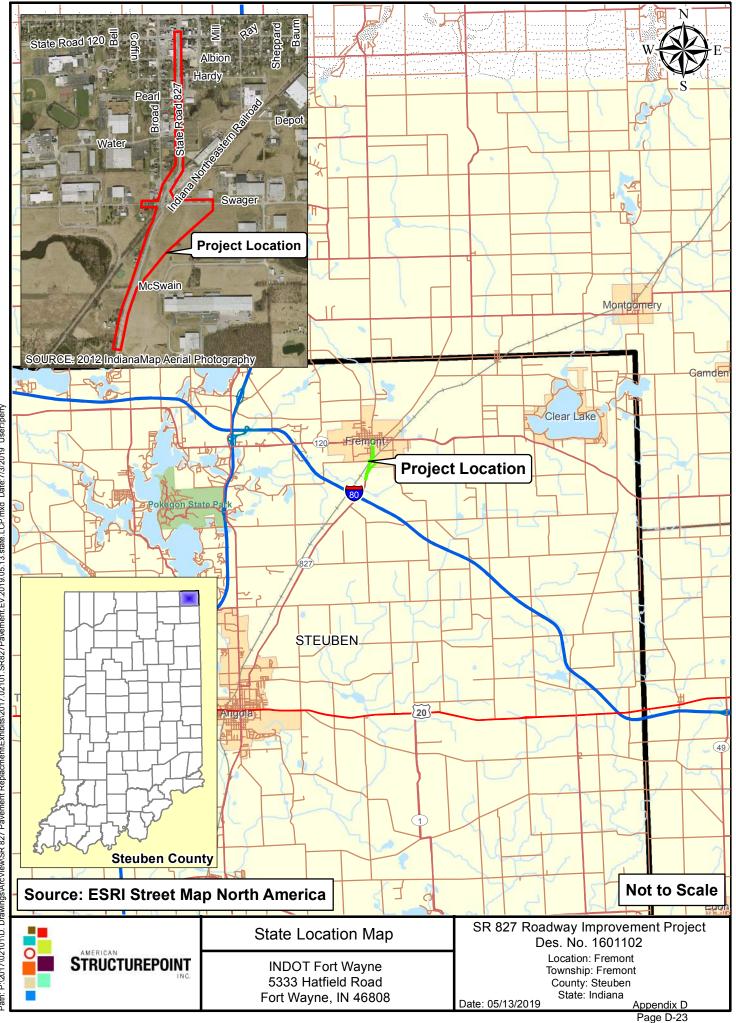
Anuradha V. Kumar, Manager Cultural Resources Office Environmental Services

Enclosures:

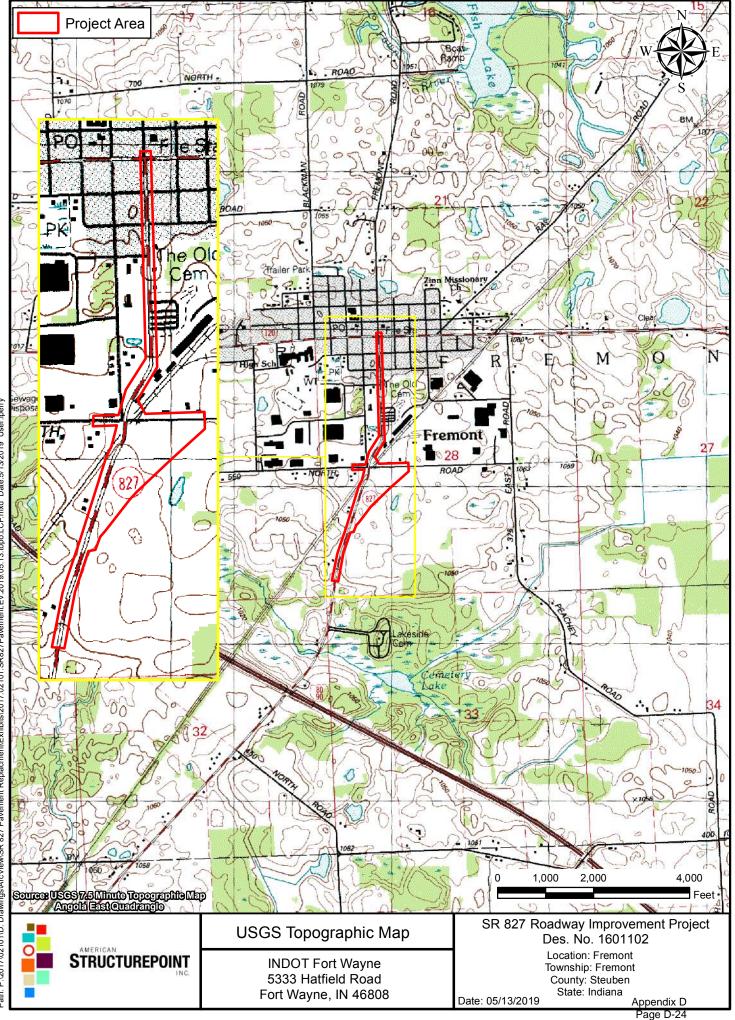
State Location Map USGS Topographic Map –Angola East Quadrangle

Distribution List:

Indiana State Historic Preservation Officer (SHPO) Eastern Shawnee Tribe of Oklahoma Forest County Potawatomi Community Miami Tribe of Oklahoma Peoria Tribe of Indians of Oklahoma Pokagon Band of Potawatomi Indians Fremont Town Council Steuben County Board of Commissioners Region III-A Economic Development District & Regional Planning Commission Indiana Landmarks Northern Regional Office Steuben County Historian Fremont Historical Society Steuben County Historical Society Fremont Area Chamber of Commerce Steuben County Highway Department Steuben County Economic Development Commission Steuben County Genealogical Society



Path: P:/2017/02101/D. Drawings/Arc/tew/SR 827 Pavement ReplacmentExhibits/2017.02101.SR827Pavement.EV.2019.05.13.state. LCP.mxd Date:7/3/2019 User: perry



Path: P:/2017/02101/0. DrawingsArcView/SR 827 Pavement ReplacmentExhibits/2017.02101.SR827Pavement.EV.2019.05.13.topo.LCP.mxd Date:5/13/2019 User:perry

From: Kelly, Clint [mailto:CKelly1@indot.IN.gov]

Sent: Friday, July 12, 2019 11:13 AM

To: thpo@estoo.net; dhunter@miamination.com; lpappenfort@peoriatribe.com; Matthew.Bussler@pokagonband-nsn.gov; michael.laronge@fcpotawatominsn.gov

Cc: Kumar, Anuradha <akumar@indot.IN.gov>; Branigin, Susan <SBranigin@indot.IN.gov>; Miller, Shaun (INDOT) <smiller@indot.IN.gov>; Perry, Leah <lperry@structurepoint.com>; Bass, Jenny R <JBass@indot.IN.gov>; Novak, Karen <KNovak@indot.IN.gov>; michelle.allen@dot.gov Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 beginning 1.06 miles south of SR 120 and extending north to the intersection of SR 827 and SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project (Des. No. 1601102).

Section 106 of the National Historic Preservation Act requires federal agencies to take into account the effects of their undertakings on historic properties. The following agencies/individuals are being invited to become consulting parties:

Indiana State Historic Preservation Officer (SHPO)

Eastern Shawnee Tribe of Oklahoma

Forest County Potawatomi Community

Miami Tribe of Oklahoma

Peoria Tribe of Indians of Oklahoma

Pokagon Band of Potawatomi Indians

Fremont Town Council

Steuben County Board of Commissioners

Region III-A Economic Development District & Regional Planning Commission

Indiana Landmarks Northern Regional Office

Steuben County Historian

Fremont Historical Society

Steuben County Historical Society

Fremont Area Chamber of Commerce

Steuben County Highway Department

Steuben County Economic Development Commission

Steuben County Genealogical Society

This letter is part of the early coordination phase of the environmental review process requesting comments associated with this project. We are requesting comments from your area of expertise regarding any possible environmental effects associated with this project. Please use the above Des. Number and project description in your reply and your comments will be incorporated into the formal environmental study.

Please review the attached letter, which is also located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with your comments on any historic resource impacts incurred as a result of this project so that an environmental report can be completed. We also welcome your related opinions and other input to be considered in the preparation of the environmental document. If a hard copy of the materials is needed, please respond to this email with your request within seven (7) days.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comments. If we do not receive a response from an invited consulting party within the time allotted, the project will proceed consistent with the proposed design. Therefore, if we do not receive a response within thirty (30) days, your agency or organization will not receive any further information on the project unless the scope of work changes.

Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Clint Kelly

Historian

Cultural Resources Office

Environmental Services

100 N. Senate Ave., Rm. 642

Indianapolis, IN 46204

Office: (317) 232-1349

Email: ckelly1@indot.in.gov



DISCLAIMER: This message contains confidential information and is intended only for the individual named. If you are not the named addressee, you should not disseminate, distribute, utilize, or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake, and delete this e-mail from your system. No design changes or decisions made by e-mail shall be considered part of the contract documents unless otherwise specified, and all design changes and/or decisions made by e-mail must be submitted as an RFI or a submittal unless otherwise specified. All designs, plans, specifications and other contract documents (including all electronic files) prepared by the sender shall remain the property of the sender, and the sender retains all rights thereto, including but not limited to copyright, statutory and common-law rights thereto, unless otherwise specified by contract. E-mail transmission cannot be guaranteed to be secure or error-free as information could be intercepted, corrupted, lost, destroyed, arrive late or incomplete, or contain viruses. The sender therefore does not accept liability for any errors or omissions in the contents of this message which arise as a result of e-mail transmission. If verification is required, please request a hard-copy version. https://www.structurepoint.com/

SR827RoadwayImprovement_Des1601102_EarlyCoordination_2019-07-12.pdf 1859K

FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

1 message

Perry, Leah <lperry@structurepoint.com>

Fri, Jul 12, 2019 at 11:00 AM

To: "countycommissioners@co.steuben.in.us" <countycommissioners@co.steuben.in.us>, "mbrinkman@region3a.org" <mbrinkman@region3a.org>, "pkdilbone6811@gmail.com" <pkdilbone6811@gmail.com>, "office@steubenedc.com" <office@steubenedc.com>, "fremontct@townoffremont.org" <fremontct@townoffremont.org>, "steubencountyhwy@mchsi.com" <steubencountyhwy@mchsi.com> Cc: "cslider@dnr.in.gov" <cslider@dnr.in.gov>, "Hope, Briana" <bhope@structurepoint.com>, "Kumar, Anuradha" <akumar@indot.in.gov>, "Branigin, Susan" <SBranigin@indot.in.gov>, "Kelly, Clint" <CKelly1@indot.in.gov>, Linda Weintraut <linda@weintrautinc.com>, "jbass@indot.in.gov" <jbass@indot.in.gov>, "Crites, Scott" <SCrites@structurepoint.com>

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 beginning 1.06 miles south of SR 120 and extending north to the intersection of SR 827 and SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project (Des. No. 1601102).

Section 106 of the National Historic Preservation Act requires federal agencies to take into account the effects of their undertakings on historic properties. The following agencies/individuals are being invited to become consulting parties:

Indiana State Historic Preservation Officer (SHPO)

Eastern Shawnee Tribe of Oklahoma

Forest County Potawatomi Community

Miami Tribe of Oklahoma

Peoria Tribe of Indians of Oklahoma

Pokagon Band of Potawatomi Indians

Fremont Town Council

Steuben County Board of Commissioners

Region III-A Economic Development District & Regional Planning Commission

Indiana Landmarks Northern Regional Office

Steuben County Historian

Fremont Historical Society

Steuben County Historical Society

Fremont Area Chamber of Commerce Steuben County Highway Department Steuben County Economic Development Commission Steuben County Genealogical Society

This letter is part of the early coordination phase of the environmental review process requesting comments associated with this project. We are requesting comments from your area of expertise regarding any possible environmental effects associated with this project. Please use the above Des. Number and project description in your reply and your comments will be incorporated into the formal environmental study.

Please review the attached letter, which is also located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with your comments on any historic resource impacts incurred as a result of this project so that an environmental report can be completed. We also welcome your related opinions and other input to be considered in the preparation of the environmental document. If a hard copy of the materials is needed, please respond to this email with your request within seven (7) days.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comments. If we do not receive a response from an invited consulting party within the time allotted, the project will proceed consistent with the proposed design. Therefore, if we do not receive a response within thirty (30) days, your agency or organization will not receive any further information on the project unless the scope of work changes.

Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Leah Perry

Environmental Specialist

9025 River Road

Suite 200

Indianapolis, IN 46240

317.547.5580 OFFICE

structurepoint.com WEB





Eric Holcomb, Governor Cameron F. Clark, Director

Division of Historic Preservation & Archaeology · 402 W. Washington Street, W274 · Indianapolis, IN 46204-2739 Phone 317-232-1646 · Fax 317-232-0693 · dhpa@dnr.IN.gov · www.IN.gov/dnr/historic

August 5, 2019



Leah Perry Environmental Specialist American Structurepoint 7260 Shadeland Station Indianapolis, Indiana 46256

Federal Agency: Indiana Department of Transportation ("INDOT"), on behalf of Federal Highway Administration, Indiana Division ("FHWA")

Re: Early coordination letter for the SR 827 Improvement Project in the Town of Fremont, Steuben County, Indiana (Des. No. 1601102; DHPA No. 24113)

Dear Ms. Perry:

Pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended (54 U.S.C. § 306108), 36 C.F.R. Part 800, and the "Programmatic Agreement (PA) Among the Federal Highway Administration, the Indiana Department of Transportation, the Advisory Council on Historic Preservation and the Indiana State Historic Preservation Officer Regarding the Implementation of the Federal Aid Highway Program In the State of Indiana," the staff of the Indiana State Historic Preservation Officer ("Indiana SHPO" or "INDNR-DHPA") has reviewed INDOT's July 12, 2019, early coordination letter, which we received on July 15, 2019.

We are not aware of any parties who should be invited to participate in the Section 106 consultation on this project, beyond those whom INDOT already has invited. After the 30-day comment period on the early coordination letter has expired, please provide John Carr (jcarr@dnr.in.gov) of my staff the names and contact information (preferably e-mail addresses) of the invited parties who have *accepted* consulting party status.

We look forward to reviewing the proposed area of potential effects and the reports on investigations of above-ground cultural resources and of archaeological resources that INDOT indicated will be forthcoming. We do note that the project area is adjacent to the Old Fremont cemetery (CR-76-6, IHSSI 151-017-07049). Please be aware of the cemetery development plan requirements in Indiana Code 14-21-1-26.5 (http://iga.in.gov/legislative/laws/2018/ic/titles/014/#14-21-1-26.5) for ground disturbance within 100 feet of a cemetery.

The Indiana SHPO staff archaeological reviewer for this project is Beth K. McCord, and the structures reviewer is John Carr. However, if you have a question about the Section 106 process, please contact initially the INDOT Cultural Resources staff members who are assigned to this project.

In all future correspondence regarding the SR 827 Improvement Project in Fremont, Steuben County, Indiana (Des. No. 1601102), please refer to DHPA No. 24113.

Very truly yours,

B-K. me

Beth K. McCord Deputy State Historic Preservation Officer

BKM:JLC:jlc

The DNR mission: Protect, enhance, preserve and wisely use natural, cultural and recreational resources for the benefit of Indiana's citizens through professional leadership, management and education.

www.DNR.IN.gov An Equal Opportunity Employer Leah Perry August 5, 2019 Page 2

emc: Joyce Newland, FHWA Michelle Allen, FHWA Anuradha Kumar, INDOT Shaun Miller, INDOT Susan Branigin, INDOT Shirley Clark, INDOT Leah Perry, American Structurepoint Beth K. McCord, INDNR-DHPA John Carr, INDNR-DHPA

Miami Tribe of Oklahoma

3410 P St. NW, Miami, OK 74354 • P.O. Box 1326, Miami, OK 74355

Via email: smiller@indot.in.gov

August 12, 2019

Shaun Miller Archaeological Team Lead Cultural Resources Office, Indiana DOT 575 North Pennsylvania Street Indianapolis, IN 46204

Re: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana – Comments of the Miami Tribe of Oklahoma

Dear Mr. Miller:

Aya, kikwehsitoole – I show you respect. My name is Diane Hunter, and I am the Tribal Historic Preservation Officer for the Federally Recognized Miami Tribe of Oklahoma. In this capacity, I am the Miami Tribe's point of contact for all Section 106 issues.

The Miami Tribe offers no objection to the above-mentioned projects at this time, as we are not currently aware of existing documentation directly linking a specific Miami cultural or historic site to the project sites. However, as these projects are within the aboriginal homelands of the Miami Tribe, if any human remains or Native American cultural items falling under the Native American Graves Protection and Repatriation Act (NAGPRA) or archaeological evidence is discovered during any phase of this project, the Miami Tribe requests immediate consultation with the entity of jurisdiction for the location of discovery. In such a case, please contact me at 918-541-8966 or by email at <u>dhunter@miamination.com</u> to initiate consultation.

The Miami Tribe accepts the invitation to serve as a consulting party to the proposed project. In my capacity as Tribal Historic Preservation Officer I am the point of contact for consultation.

Respectfully,

Diane Stunter

Diane Hunter Tribal Historic Preservation Officer

Fwd: FW: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

1 message

Fri, May 29, 2020 at 12:06 PM

----- Forwarded message ------From: **Perry, Leah** <lperry@structurepoint.com> Date: Mon, Aug 12, 2019 at 3:53 PM Subject: FW: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana To: Linda Weintraut <linda@weintrautinc.com> Cc: Hope, Briana <bhope@structurepoint.com>

I received this response today.

Leah

From: Kelly, Clint [mailto:CKelly1@indot.IN.gov]
Sent: Monday, August 12, 2019 12:55 PM
To: Perry, Leah <lperry@structurepoint.com>
Cc: Branigin, Susan <SBranigin@indot.IN.gov>; Miller, Shaun (INDOT) <smiller@indot.IN.gov>
Subject: FW: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

Leah,

See below for a response from the Forest County Potawatomi Community

Thanks,

Clint

Clint Kelly

Historian

Cultural Resources Office

Environmental Services

100 N. Senate Ave., Rm. 642

Indianapolis, IN 46204

Office: (317) 232-1349

Email: ckelly1@indot.in.gov

From: Michael LaRonge [mailto:Michael.LaRonge@fcpotawatomi-nsn.gov]
Sent: Monday, August 12, 2019 12:10 PM
To: Kelly, Clint <<u>CKelly1@indot.IN.gov</u>>
Subject: RE: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

**** This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email. ****

RE: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana.

Dear Mr. Kelly,

Pursuant to consultation under Section 106 of the National Historic Preservation Act (1966 as amended) the Forest County Potawatomi Community, a Federally Recognized Native American Tribe, reserves the right to comment on Federal undertakings, as defined under the act.

Thank you for providing additional information regarding this project. Based on information you provided in the early coordination letter regarding earth moving associated with the work the Tribal Historic Preservation Office requests a copy of the archaeological study and SHPO clearance letter related to the project.

Your interest in protecting cultural and historic properties is appreciated. If you have any questions or concerns, please contact me at the email address or phone number listed below.

Respectfully,

Michael LaRonge Tribal Historic Preservation Officer Natural Resources Department Forest County Potawatomi Community 5320 Wensaut Lane P.O. Box 340 Crandon, Wisconsin 54520

Fwd: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

1 message

------ Forwarded message ------From: **Perry, Leah** <lperry@structurepoint.com> Date: Tue, Mar 24, 2020 at 11:34 AM Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana To: Carr, John <JCarr@dnr.in.gov> Cc: Hope, Briana <bhope@structurepoint.com>, Kumar, Anuradha <akumar@indot.in.gov>, Branigin, Susan <SBranigin@indot.in.gov>, Miller, Shaun (INDOT) <smiller@indot.in.gov>, Kelly, Clint <CKelly1@indot.in.gov>, Linda Weintraut <linda@weintrautinc.com>, jbass@indot.in.gov <jbass@indot.in.gov>, Crites, Scott <SCrites@structurepoint.com>

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 from approximately 0.21 mile south of McSwain Drive to 0.016 mile north of SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project (Des. No. 1601102). The Section 106 Early Coordination Letter for this project was originally distributed on July 12, 2019.

As part of Section 106 of the National Historic Preservation Act, a Historic Property Report has been prepared and is ready for review and comment by consulting parties.

Please review this documentation located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with any comments that you may have. If a hard copy of the materials is needed, please respond to this email with your request within seven (7) days.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comment. Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Leah Perry

Environmental Specialist 9025 River Road, Suite 200 Indianapolis, IN 46240 317.547.5580 OFFICE structurepoint.com WEB





Fwd: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

1 message

------ Forwarded message ------From: Kelly, Clint <CKelly1@indot.in.gov> Date: Tue, Mar 24, 2020 at 11:49 AM Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana To: dhunter@miamination.com <dhunter@miamination.com>, michael.laronge@fcpotawatomi-nsn.gov <michael.laronge@fcpotawatomi-nsn.gov> Cc: Kumar, Anuradha <akumar@indot.in.gov>, Branigin, Susan <SBranigin@indot.in.gov>, Miller, Shaun (INDOT)

<smiller@indot.in.gov>, Bass, Jenny R <JBass@indot.in.gov>, Perry, Leah <lperry@structurepoint.com>, Linda Weintraut <linda@weintrautinc.com>, michelle.allen@dot.gov <michelle.allen@dot.gov>, Novak, Karen <KNovak@indot.in.gov>

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 from approximately 0.21 mile south of McSwain Drive to 0.016 mile north of SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project (Des. No. 1601102). The Section 106 Early Coordination Letter for this project was originally distributed on July 12, 2019.

As part of Section 106 of the National Historic Preservation Act, a Historic Property Report has been prepared and is ready for review and comment by consulting parties.

Please review this documentation located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with any comments that you may have. If a hard copy of the materials is needed, please respond to this email with your request within seven (7) days.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comment. Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Clint Kelly

Historian

Cultural Resources Office

Environmental Services

100 N. Senate Ave., Rm. 642

Indianapolis, IN 46204

Office: (317) 232-1349

Email: ckelly1@indot.in.gov





Division of Historic Preservation & Archaeology · 402 W. Washington Street, W274 · Indianapolis, IN 46204-2739 Phone 317-232-1646 · Fax 317-232-0693 · dhpa@dnr.IN.gov · www.IN.gov/dnr/historic



April 21, 2020

Leah Perry Environmental Specialist American Structurepoint 9025 River Road Indianapolis, Indiana 46240

> Federal Agency: Indiana Department of Transportation ("INDOT"), on behalf of Federal Highway Administration, Indiana Division ("FHWA")

Re: Historic property report (Fivecoat and Molloy, 2/24/2020) for the SR 827 Improvement Project in the Town of Fremont, Steuben County, Indiana (Des. No. 1601102; DHPA No. 24113)

Dear Ms. Perry:

Pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended (54 U.S.C. § 306108), 36 C.F.R. Part 800, and the "Programmatic Agreement (PA) Among the Federal Highway Administration, the Indiana Department of Transportation, the Advisory Council on Historic Preservation and the Indiana State Historic Preservation Officer Regarding the Implementation of the Federal Aid Highway Program In the State of Indiana," the staff of the Indiana State Historic Preservation Officer ("Indiana SHPO" or "INDNR-DHPA") has reviewed the submittal form dated and received on March 24, 2020 with the historic property report ("HPR"; Fivecoat and Molloy, 2/24/2020) enclosed.

The area of potential effects ("APE") proposed in the HPR appears to encompass the geographic area in which this project could cause effects.

For the purposes of the Section 106 review of this project, we agree with the conclusion of the HPR that the only above-ground properties eligible for inclusion in the National Register of Historic Places ("NRHP") within the APE are:

- Erastus Farnham House (IHSSI No.: 151-017-05031), criteria A and C
- Fremont Historic Commercial District (IHSSI Nos.:151-017-06000 through 151-017-06023), criteria A and C
- Warren D. Wells House/Fremont Eagle Office (IHSSI No.: 151-017-07043), criteria A and C

Also for the purposes of this Section 106 review, we agree with the proposed historic boundaries of those three properties.

Because permanent right-of-way will be required, we ask that we and all other consulting parties be provided with at least preliminary plans showing proposed roadway improvements in the vicinity of each of the above-ground historic properties.

We look forward to reviewing the archaeological investigation report that will be forthcoming. We do note that the project area is adjacent to the Old Fremont cemetery (CR-76-6, IHSSI 151-017-07049). Please be aware of the cemetery development plan requirements in Indiana Code 14-21-1-26.5 (<u>http://iga.in.gov/legislative/laws/2018/ic/titles/014/#14-21-1-26.5</u>) for ground disturbance within 100 feet of a cemetery.

The Indiana SHPO staff archaeological reviewer for this project is Beth K. McCord, and the structures reviewer is John Carr. However, if you have a question about the Section 106 process, please contact initially the INDOT Cultural Resources staff members who are assigned to this project.

In all future correspondence regarding the SR 827 Improvement Project in Fremont, Steuben County, Indiana (Des. No. 1601102), please continue to refer to DHPA No. 24113.

Very truly yours,

Charl W. Slider

Beth K. McCord Deputy State Historic Preservation Officer

BKM:JLC:jlc

- cc: Mavis Church, owner of 205 West Swager Road Glenn Wells, owner of 200 South Wayne Street
- emc: Karstin Carmany-George, FHWA Michelle Allen, FHWA Anuradha Kumar, INDOT Shaun Miller, INDOT Susan Branigin, INDOT Shirley Clark, INDOT Leah Perry, American Structurepoint Forest County Potawatomi Community Miami Tribe of Oklahoma Town of Fremont, Clerk-Treasurer Town of Fremont, Street Superintendent Beth K. McCord, INDNR-DHPA John Carr, INDNR-DHPA

Fwd: SR 827 Pavement Replacement, Steuben County (Des. No. 1601102), Consulting Party Request

1 message

------ Forwarded message ------From: **Perry, Leah** <lperry@structurepoint.com> Date: Mon, May 18, 2020 at 3:03 PM Subject: SR 827 Pavement Replacement, Steuben County (Des. No. 1601102), Consulting Party Request To: Kelly, Clint <CKelly1@indot.in.gov> Cc: Linda Weintraut <linda@weintrautinc.com>, Hope, Briana <bhope@structurepoint.com>, Kumar, Anuradha <akumar@indot.in.gov>, Branigin, Susan <SBranigin@indot.in.gov>, Miller, Shaun (INDOT) <smiller@indot.in.gov>, Coon, Matthew <mcoon@indot.in.gov>, carnold@weintrautinc.com>

Clint,

Please see below for an email documenting a phone call on April 22nd with Mavis Church requesting to be a consulting party on the SR 827 project. She is the owner of 205 West Swager. Apologies for not including you earlier.

Thank you,

Leah Perry

Environmental Specialist 9025 River Road, Suite 200 Indianapolis, IN 46240 317.547.5580 OFFICE structurepoint.com WEB



f y in D b

From: Perry, Leah Sent: Wednesday, April 22, 2020 2:20 PM To: Linda Weintraut <linda@weintrautinc.com>; Bethany Natali <bethany@weintrautinc.com> Cc: Hope, Briana <bhope@structurepoint.com> Subject: SR 827, Fremont, Consulting Party Request

Hi Linda,

I just spoke with Mavis Church, she is the owner of 205 West Swager Road. She would like to be a consulting party. 1-260-495-7101 is her phone number. Her e-mail is mimis_music@protonmail.com. She would like to get a mailed and emailed copy when things are sent out if possible.

Leah Perry

Environmental Specialist 9025 River Road, Suite 200

Indianapolis, IN 46240

317.547.5580 OFFICE

structurepoint.com WEB



DISCLAIMER: This message contains confidential information and is intended only for the individual named. If you are

FW: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

From: Coon, Matthew <mcoon@indot.IN.gov>
Sent: Wednesday, June 3, 2020 11:57 AM
To: 'michael.laronge@fcpotawatomi-nsn.gov' <michael.laronge@fcpotawatomi-nsn.gov>; Diane Hunter
<dhunter@miamination.com>
Cc: Allen, Michelle (FHWA) <michelle.allen@dot.gov>; Miller, Shaun (INDOT) <smiller@indot.IN.gov>; Perry, Leah
<lp><lp><lp><lp><lp>
Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 from approximately 0.21 mile south of McSwain Drive to 0.016 mile north of SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project in Steuben County, Indiana (Des. No. 1601102). The Section 106 Early Coordination Letter for this project was originally distributed on July 12, 2019.

As part of Section 106 of the National Historic Preservation Act, an Archaeology Report (Tribes Only) has been prepared and is ready for review and comment by consulting parties.

Please review this documentation located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with any comments that you may have. If a hard copy of the materials is needed, please respond to this email with your request as soon as you are able.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comment. Tribal consulting parties are encouraged to respond to this notification with any comments or concerns at their earliest convenience. Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Matt Coon

Archaeologist, Cultural Resources Office

INDOT Environmental Services

100 N. Senate Avenue, Room N642

Indianapolis, IN 46204

Phone: 317.233.2083

DISCLAIMER: This message contains confidential information and is intended only for the individual named. If you are not the named addressee, you should not disseminate, distribute, utilize, or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake, and delete this e-mail from your system. No design changes or decisions made by e-mail shall be considered part of the contract documents unless otherwise specified, and all design changes and/or decisions made by e-mail must be submitted as an RFI or a submittal unless otherwise specified. All designs, plans, specifications and other contract documents (including all electronic files) prepared by the sender shall remain the property of the sender, and the sender retains all rights thereto, including but not limited to copyright, statutory and common-law rights thereto, unless otherwise specified by contract. E-mail transmission cannot be guaranteed to be secure or error-free as information could be intercepted, corrupted, lost, destroyed, arrive late or incomplete, or contain viruses. The sender therefore does not accept liability for any errors or omissions in the contents of this message which arise as a result of e-mail transmission. If verification is required, please request a hard-copy version. https://www.structurepoint.com/

SR827RoadwayImprovement_Des1601102_DistLetter_2020-06-03.pdf 7524K

Fwd: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

1 message

Wed, Jun 3, 2020 at 11:37 AM

------ Forwarded message ------From: Perry, Leah <lperry@structurepoint.com> Date: Wed, Jun 3, 2020 at 11:29 AM Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana To: mimis_music@protonmail.com <mimis_music@protonmail.com> Cc: Hope, Briana <bhope@structurepoint.com>, Kumar, Anuradha <akumar@indot.in.gov>, Branigin, Susan <SBranigin@indot.in.gov>, Miller, Shaun (INDOT) <smiller@indot.in.gov>, Kelly, Clint <CKelly1@indot.in.gov>, Linda Weintraut <linda@weintrautinc.com>, jbass@indot.in.gov <jbass@indot.in.gov>, Crites, Scott <SCrites@structurepoint.com>, Coon, Matthew <mcoon@indot.in.gov>, Carr, John <JCarr@dnr.in.gov>, BMccord@dnr.IN.gov <BMccord@dnr.in.gov>

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 from approximately 0.21 mile south of McSwain Drive to 0.016 mile north of SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project (Des. No. 1601102). The Section 106 Early Coordination Letter for this project was originally distributed on July 12, 2019.

As part of Section 106 of the National Historic Preservation Act, an Archaeology Report (Tribes Only) has been prepared and is ready for review and comment by consulting parties.

Please review this documentation located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with any comments that you may have. If a hard copy of the materials is needed, please respond to this email with your request within seven (7) days.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comment. Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Weintraut Inc Mail - Fwd: FHWA Project: Des. No. 1601102, SR 827 R...

Leah Perry

Environmental Specialist 9025 River Road, Suite 200 Indianapolis, IN 46240 317.547.5580 OFFICE structurepoint.com WEB





Best Places to Work in Indiana Best Employers in Ohio

SR827RoadwayImprovement_Des1601102_DistLetter_2020-06-03.pdf

Fwd: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana, Arch report review request, DHPA 24113 1 message

Wed, Jun 3, 2020 at 11:37 AM

------ Forwarded message ------From: **Perry, Leah** <lp>erry@structurepoint.com> Date: Wed, Jun 3, 2020 at 11:33 AM Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana, Arch report review request, DHPA 24113 To: mburkett@dnr.in.gov <mburkett@dnr.in.gov> Cc: Linda Weintraut <linda@weintrautinc.com>, Bethany Natali <bethany@weintrautinc.com>, Hope, Briana

Cc: Linda Weintraut <iinda@weintrautinc.com>, Betnany Natali <betnany@weintrautinc.com>, Hope, Briana
<bnope@structurepoint.com>, Carr, John <JCarr@dnr.in.gov>, BMccord@dnr.IN.gov <BMccord@dnr.in.gov>, Coon,
Matthew <mcoon@indot.in.gov>

Miriam,

Please find attached the review request form and archaeology report for the SR 827 Roadway Improvement Project (DHPA No. 24113). These documents will also be in the mail shortly.

Thank you,

Leah Perry

Environmental Specialist 9025 River Road, Suite 200 Indianapolis, IN 46240 317.547.5580 OFFICE structurepoint.com WEB



f y in 🖬 6

Best Places to Work in Indiana Best Employers in Ohio

2 attachments

55031 fill-in- SHPO Review Request Form_SR827.6.3.2020.pdf

SR827Fremont_Des1601102_Phase1a_06-03-2020.pdf 16397K



INDIANA DEPARTMENT OF TRANSPORTATION

100 North Senate Avenue Room N642 Indianapolis, Indiana 46204

PHONE: (317) 234-5168

Eric Holcomb, Governor Joe McGuinness, Commissioner

June 3, 2020

This letter was sent to the listed parties.

RE: SR 827 Roadway Improvement Project, Des. No. 1601102, and DHPA No. 24113

Dear Consulting Party,

The Indiana Department of Transportation (INDOT), with funding from the Federal Highway Administration (FHWA), proposes to proceed with the SR 827 Roadway Improvement project (Des. No. 1601102).

This letter is part of the Section 106 review process for this project. Section 106 of the National Historic Preservation Act requires federal agencies to take into account the effects of their undertakings on historic and archaeological properties. We are requesting comments from you regarding the possible effects of this project. Please use the above Des. Number and project description in your reply and your comments will be incorporated into the formal environmental study.

A Section 106 early coordination letter was distributed on July 12, 2019.

The proposed undertaking is on SR 827, beginning 1.06 miles south of SR 120 and extending north to the intersection of SR 827 and SR 120, a distance of 0.93 mile in the town of Fremont in Steuben County, Indiana. It is within Fremont Township on the Angola East USGS 7.5 Minute Quadrangle Maps in Sections 21 and 28, Township 38 North, and Range 14 East.

The purpose of the project is to address the deterioration of the existing pavement and sidewalks along with inadequate roadway drainage along SR 827 corridor. The need for the project is that the existing pavement exhibits age-related deterioration, moderate longitudinal and transverse cracking, and deteriorated curbs and sidewalks. Most of the curb ramps along the project corridor do not appear to meet current standards.

The current preferred alternative consists of a hot mix asphalt (HMA) overlay with minor structural pavement rehabilitation and sections of full pavement replacement. Additionally, approximately 1,445 feet of SR 827 would be realigned from just south of Swager Road to just north of Broad Street. One feasible realignment alternative being considered is to shift the intersection of Swager Road and SR 827 approximately 40 feet to the west. Due to this realignment, the railroad crossing at SR 827 and Swager Road would be moved southwest which is further away from the intersection of Swager Road and allows for movement of vehicles while a train is present. The roadway realignment would eliminate one set of existing reverse curves that are located just south of the railroad crossing.

The two culverts within the project area will be assessed to determine if replacement is needed. A new storm sewer with drainage inlets would be installed in curbed segments and drain to the existing detention pond located north of the intersection of SR 827 and Broad Street. The detention pond will be evaluated to determine



if it needs to be expanded to handle the increase in runoff. Existing curb would be replaced with curb and gutter. New curb and gutter would be extended south to Swager Road. Storm sewer and curb inlets would be added to the curb and gutter sections. Curb ramps and sections of sidewalk throughout the project area would be reconstructed as needed to be ADA-compliant.

It is anticipated that additional permanent and temporary right-of-way acquisition, greater than 0.50 acre, would be required to complete the proposed project. However, it is unknown at this time how much temporary and permanent right-of-way would be needed. Exact amounts will be determined as the design develops.

American Structurepoint, Inc. is under contract with INDOT to advance the environmental documentation for the referenced project. Weintraut & Associates, Inc. has been subcontracted to complete the Section 106 documentation for the project.

In accordance with 36 CFR 800.2 (c), you were invited to become a consulting party as part of the Section 106 process, or you are hereby invited to become a consulting party as part of the Section 106 process. Entities that have previously accepted consulting party status--as well as additional entities that are currently being invited to become consulting parties--are identified in the attached list.

The Section 106 process involves efforts to identify historic properties potentially affected by the undertaking, to assess the undertaking's effects and to seek ways to avoid, minimize, or mitigate any adverse effects on historic properties. For more information regarding the protection of historic resources, please see the Advisory Council on Historic Preservation's guide: *Protecting Historic Properties: A Citizen's Guide to Section 106 Review* available online at https://www.achp.gov/sites/default/files/documents/2017-01/CitizenGuide.pdf.

The Area of Potential Effects (APE) is the area in which the proposed project may cause alterations in the character or use of historic resources. The APE contains no resources listed in the National Register of Historic Places (NRHP).

A historian who meets the Secretary of the Interior's Professional Qualification Standards identified and evaluated above-ground resources within the APE for potential eligibility for the NRHP. As a result of the historic property identification and evaluation efforts, Erastus Farnham House (IHSSI No.: 151-017-05031, Fremont Historic Commercial District (IHSSI Nos.:151-017-06000 through 151-017-06023) and Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043) are recommended as eligible for listing in the NRHP.

With regard to archaeological resources, an archaeologist who meets the Secretary of the Interior's Professional Qualification Standards identified six new archaeological sites (12SN0217 to 12SN0222) within the project area. As a result of these efforts, sites (12SN0218, 12SN0219, 12SN0221, and 12SN0222) were recommended not eligible for listing in the NRHP and no further work is recommended. Sites 12SN0217 and 12SN0220 most likely extend beyond the current survey boundaries, with the possibility of there being associated structures and cultural features nearby. However, as currently surveyed none of the sites are recommended eligible for listing in the NRHP and no further archaeological work appears warranted. Project clearance is recommended for the portion of the sites delineated during the current survey.

In an April 21, 2020 letter responding to the Historic Property Report, the State Historic Preservation Officer (SHPO) requested that all consulting parties be provided with at least preliminary plans showing proposed roadway improvements in the vicinity of each of the above-ground historic properties. With this letter, project designers are including the latest plan set (see attached), and additional information on project activities. Each historic property is discussed below:



Fremont Historic Commercial District (IHSSI No.: 151-017-06000 through 060023)

- Project activities include an HMA overlay on existing asphalt roadways and the reconstruction of existing concrete sidewalks, curbs, and curb ramps.
- Changes would occur within disturbed areas of existing right-of-way and on existing roadways, sidewalks, curbs, and curb ramps.

Warren D. Wells House/Fremont Eagle Office (IHSSI No.: 151-017-07043)

- Project activities include an HMA overlay on existing asphalt roadways and the reconstruction of existing concrete sidewalks, curbs, and curb ramps.
- Changes would occur within disturbed areas of existing right-of-way and on existing roadways, sidewalks, curbs, and curb ramps.

Erastus Farnham House (IHSSI No.: 151-017-05031)

- Project activities include the realignment of SR 827/Wayne Street at the CSX Railroad and Swager Road.
- Changes would remain in existing right-of-way and would not encroach upon the historic site boundary of the Erastus Farnham House.

The Archaeology Report (Tribes only) is available for review in IN SCOPE at

<u>http://erms.indot.in.gov/Section106Documents/</u> (the Des. No. is the most efficient search term, once in IN SCOPE). You are invited to review these documents and to respond with comments on any historic resource impacts incurred as a result of this project so that an environmental report can be completed. We also welcome your related opinions and other input to be considered in the preparation of the environmental document. If you prefer a hard-copy of this material, please respond to this email with your request within seven (7) days.

Please review the information and comment within thirty (30) calendar days of receipt. If you indicate that you do not desire to be a consulting party or if you have not previously accepted consulting party status and you do not respond to this letter, you will not be included on the list of consulting parties for this project and will not receive further information about the project unless the design changes.

For questions concerning specific project details, you may contact Leah Perry of American Structurepoint, Inc. at (317) 547-5580 or <u>lperry@structurepoint.com</u>. All future responses regarding the proposed project should be forwarded to American Structurepoint, Inc. at the following address:

Leah Perry Environmental Specialist American Structurepoint, Inc. 9025 River Road, Suite 200 Indianapolis, IN 46240 <u>lperry@structurepoint.com</u>

Tribal contacts may contact Shaun Miller at <u>smiller@indot.in.gov</u> or 317-233-6795 or Michelle Allen at FHWA at <u>michelle.allen@dot.gov</u> or 317-226-7344.

Sincerely,

Anuradha V. Kumar, Manager Cultural Resources Office Environmental Services

Enclosures: Preliminary Project Plans

Distribution List:

- Indiana State Historic Preservation Officer (SHPO)
- Forest County Potawatomi Community
- Miami Tribe of Oklahoma
- Mavis Church, Property Owner: 205 West Swager Road, 7805 N Fremont Road, Fremont, Indiana 46737

Plans omitted as they are reproduced in Appendix F



Division of Historic Preservation & Archaeology · 402 W. Washington Street, W274 · Indianapolis, IN 46204-2739 Phone 317-232-1646 · Fax 317-232-0693 · dhpa@dnr.IN.gov · www.IN.gov/dnr/historic



June 26, 2020

Leah Perry Environmental Specialist American Structurepoint 9025 River Road Indianapolis, Indiana 46240

Federal Agency: Indiana Department of Transportation ("INDOT"), on behalf of Federal Highway Administration, Indiana Division ("FHWA")

Re: Archaeological records check and phase Ia reconnaissance report (Arnold, 5/2020) and preliminary project plans for the SR 827 Improvement Project in the Town of Fremont, Steuben County, Indiana (Des. No. 1601102; DHPA No. 24113)

Dear Ms. Perry:

Pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended (54 U.S.C. § 306108), 36 C.F.R. Part 800, and the "Programmatic Agreement (PA) Among the Federal Highway Administration, the Indiana Department of Transportation, the Advisory Council on Historic Preservation and the Indiana State Historic Preservation Officer Regarding the Implementation of the Federal Aid Highway Program In the State of Indiana," the staff of the Indiana State Historic Preservation Officer ("Indiana SHPO" or "INDNR-DHPA") has reviewed INDOT's letter dated June 3, 2020 and enclosures that were received electronically on June 3.

In regard to archaeological resources, based upon the submitted information and the documentation available to the staff of the Indiana SHPO, we concur with the opinion of the archaeologist, as expressed in the submitted archaeological reconnaissance survey report (Arnold, 5/2020), that the portions of archaeological sites 12Sn217, 12Sn218, 12Sn219 and 12Sn220 surveyed for this project do not appear eligible for inclusion in the NRHP. As the site boundaries extend beyond the limits surveyed, the unsurveyed portions remain unevaluated for inclusion in the NRHP. If the project boundaries should change in these locations, further archaeological investigations will be necessary to delineate the site boundaries and provide an evaluation for inclusion in the NRHP. Further we concur with the opinion of the archaeologist, that archaeological sites12Sn221 and 12Sn221 do not appear eligible for inclusion in the NRHP. Further we concur with the opinion of the archaeologist, that archaeological sites12Sn221 and 12Sn221 do not appear eligible for inclusion in the NRHP. Further we concur with the opinion of the archaeologist, that archaeological sites12Sn221 and 12Sn221 do not appear eligible for inclusion in the NRHP. Further we concur with the opinion of the archaeologist, that archaeological sites12Sn221 and 12Sn221 do not appear eligible for inclusion in the NRHP. Further we concur with the opinion of the archaeologist, that archaeological sites12Sn221 and 12Sn221 do not appear eligible for inclusion in the National Register of Historic Places ("NRHP"). No further archaeological investigations are necessary.

Please note that archaeological site survey records for sites 12Sn217 to 12Sn222 have **not** been submitted to SHAARD. Please submit these records for review

If any prehistoric or historic archaeological artifacts or human remains are uncovered during construction, demolition, or earthmoving activities, state law (Indiana Code 14-21-1-27 and -29) requires that the discovery be reported to INDNR-DHPA within two (2) business days. In that event, please call (317) 232-1646. Be advised that adherence to Indiana Code 14-21-1-27 and -29 does not obviate the need to adhere to applicable federal statutes and regulations, including but not limited to 36 C.F.R. Part 800.

We also note that the project area is adjacent to the Old Fremont cemetery (CR-76-6, IHSSI 151-017-07049). Please be aware of the cemetery development plan requirements in Indiana Code 14-21-1-26.5 (<u>http://iga.in.gov/legislative/laws/2018/ic/titles/014/#14-21-1-26.5</u>) for ground disturbance within 100 feet of a cemetery.

As you know, in our April 21, 2020, letter we agreed that the only above-ground properties eligible for inclusion in the NRHP within the area of potential effects are:

- Erastus Farnham House at 205 West Swager Road (IHSSI No.: 151-017-05031), criteria A and C.
- Fremont Historic Commercial District (IHSSI Nos.:151-017-06000 through 151-017-06023), criteria A and C.
- Warren D. Wells House/*Fremont Eagle* Office at 200 South Wayne Street (IHSSI No.: 151-017-07043), criteria A and C.

Thank you for providing preliminary plans for the current, preferred alternative. As long as the current, preferred alternative is ultimately chosen, and as long as the proposed project scope or alignment is not modified in the vicinity of any of those properties, we do not think this project will adversely affect them. Unless another consulting party expresses concern about the project's effect on a historic property, we think it might now be appropriate to ask INDOT for a finding.

The Indiana SHPO staff archaeological reviewer for this project is Beth K. McCord, and the structures reviewer is John Carr. However, if you have a question about the Section 106 process, please contact initially the INDOT Cultural Resources staff members who are assigned to this project.

In all future correspondence regarding the SR 827 Improvement Project in Fremont, Steuben County, Indiana (Des. No. 1601102), please continue to refer to DHPA No. 24113.

Very truly yours,

had W. Shih

Beth K. McCord Deputy State Historic Preservation Officer

BKM:JLC:jlc

cc: Mavis Church, owner of 205 West Swager Road Glenn Wells, owner of 200 South Wayne Street

emc: Karstin Carmany-George, FHWA Michelle Allen, FHWA Anuradha Kumar, INDOT Shaun Miller, INDOT Susan Branigin, INDOT Shirley Clark, INDOT Leah Perry, American Structurepoint Linda Weintraut, Weintraut & Associates Craig Arnold, Weintraut & Associates Forest County Potawatomi Community Miami Tribe of Oklahoma Town of Fremont, Clerk-Treasurer Town of Fremont, Street Superintendent Beth K. McCord, INDNR-DHPA John Carr, INDNR-DHPA

Fwd: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana 1 message

Mon, Jul 6, 2020 at 8:32 AM

Begin forwarded message:							
	From: "Perry, Leah" < perry@structurepoint.com> Date: July 6, 2020 at 8:17:37 AM EDT To: Linda Weintraut <linda@weintrautinc.com>, Bethany Natali <bethany@weintrautinc.com> Cc: "Hope, Briana" <bhope@structurepoint.com> Subject: FW: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana</bhope@structurepoint.com></bethany@weintrautinc.com></linda@weintrautinc.com>						
	A response from Forest County Potawatomi for your records.						
	Leah						
	From: Coon, Matthew <mcoon@indot.in.gov> Sent: Monday, July 6, 2020 8:11 AM To: Perry, Leah < perry@structurepoint.com> Cc: Miller, Shaun (INDOT) <smiller@indot.in.gov> Subject: FW: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana</smiller@indot.in.gov></mcoon@indot.in.gov>						
	Leah,						
	Here is the response from the Forest County Potawatomi						
	Matt Coon						
	Archaeologist, Cultural Resources Office						
	INDOT Environmental Services						
	100 N. Senate Avenue, Room N642						
	Indianapolis, IN 46204						
	Phone: 317.233.2083						
	From: Michael LaRonge < <u>Michael.LaRonge@fcpotawatomi-nsn.gov</u> > Sent: Saturday, July 04, 2020 12:00 PM To: Coon, Matthew < <u>mcoon@indot.IN.gov</u> > Subject: RE: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana						
	**** This is an EXTERNAL email. Exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email. ****						

RE: INDOT Project Des. No. 1601102, SR 827 Roadway Improvement Project, Stueben County, Indiana.

Dear Mr. Coon,

Pursuant to consultation under Section 106 of the National Historic Preservation Act (1966 as amended) the Forest County Potawatomi Community, a Federally Recognized Native American Tribe, reserves the right to comment on Federal undertakings, as defined under the act.

This response is regarding the project mention above. Tribal Historic Preservation Office (THPO) staff has reviewed the materials you provided for the project. The FCPC THPO is pleased to offer a finding of no historic properties affected, with two conditions. First, should the SHPO comments differ the Tribe reserves the right to reconsider based on the new information provided. Second, in the event that human remains or archaeological materials are exposed as a result of project activities work must halt and the Tribe must be included in any consultation regarding treatment and disposition of the find prior to removal.

Your interest in protecting cultural and historic properties is appreciated. If you have any questions or concerns, please contact me at the email address or phone number listed below.

Respectfully,

Michael LaRonge

Tribal Historic Preservation Officer

Cultural Preservation Division

Forest County Potawatomi Community

8130 Mish ko Swen Drive

P.O. Box 340

Crandon, Wisconsin 54520

Phone: 715-478-7354

Email: Michael.LaRonge@FCPotawatomi-nsn.gov

From: Coon, Matthew <mcoon@indot.IN.gov> Sent: Wednesday, June 3, 2020 10:57 AM To: Michael LaRonge <Michael.LaRonge@fcpotawatomi-nsn.gov>; Diane Hunter <dhunter@miamination.com> Cc: Allen, Michelle (FHWA) <michelle.allen@dot.gov>; Miller, Shaun (INDOT) <smiller@indot.IN.gov>; Perry, Leah <lperry@structurepoint.com> Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 from approximately 0.21 mile south of McSwain Drive to 0.016 mile north of SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project in Steuben County, Indiana (Des. No. 1601102). The Section 106 Early Coordination Letter for this project was originally distributed on July 12, 2019.

As part of Section 106 of the National Historic Preservation Act, an Archaeology Report (Tribes Only) has been prepared and is ready for review and comment by consulting parties.

Please review this documentation located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search

FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana 1 message

Perry, Leah < lperry@structurepoint.com>

Mon, Jul 6, 2020 at 11:22 AM

To: "mimis_music@protonmail.com" <mimis_music@protonmail.com>

Cc: "Hope, Briana" <bhope@structurepoint.com>, "Kumar, Anuradha" <akumar@indot.in.gov>, "Branigin, Susan" <SBranigin@indot.in.gov>, "Miller, Shaun (INDOT)" <smiller@indot.in.gov>, "Kelly, Clint" <CKelly1@indot.in.gov>, Linda Weintraut <linda@weintrautinc.com>, "jbass@indot.in.gov" <jbass@indot.in.gov>, "Crites, Scott" <SCrites@structurepoint.com>, "Coon, Matthew" <mcoon@indot.in.gov>, "Carr, John" <JCarr@dnr.in.gov>, "BMccord@dnr.IN.gov" <BMccord@dnr.in.gov>, Bethany Natali <bethany@weintrautinc.com>, Doug Fivecoat <dfivecoat@weintrautinc.com>

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 from approximately 0.21 mile south of McSwain Drive to 0.016 mile north of SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project (Des. No. 1601102). The Section 106 Early Coordination Letter for this project was originally distributed on July 12, 2019.

As part of Section 106 of the National Historic Preservation Act, an Effects Letter has been prepared and is ready for review and comment by consulting parties.

Please review this documentation located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with any comments that you may have. If a hard copy of the materials is needed, please respond to this email with your request within seven (7) days.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comment. Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Leah Perry

Environmental Specialist 9025 River Road, Suite 200 Indianapolis, IN 46240 317.547.5580 OFFICE structurepoint.com WEB





Best Places to Work in Indiana Best Employers in Ohio

Fwd: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana 1 message

------Forwarded message -------From: Kelly, Clint <CKelly1@indot.in.gov> Date: Mon, Jul 6, 2020 at 12:17 PM Subject: FHWA Project: Des. No. 1601102, SR 827 Roadway Improvement Project, Steuben County, Indiana To: thpo@estoo.net <thpo@estoo.net>, michael.laronge@fcpotawatomi-nsn.gov <michael.laronge@fcpotawatomi-nsn.gov>, Diane Hunter <dhunter@miamination.com>, lpappenfort@peoriatribe.com <lpappenfort@peoriatribe.com>, Matthew.Bussler@pokagonband-nsn.gov <Matthew.Bussler@pokagonband-nsn.gov> Cc: Kumar, Anuradha <akumar@indot.in.gov>, Branigin, Susan <SBranigin@indot.in.gov>, Miller, Shaun (INDOT) <smiller@indot.in.gov>, Coon,

Cc: Kumar, Anuraona <akumar@indot.in.gov>, Branigin, Susan <SBranigin@indot.in.gov>, Miller, Shaun (INDOT) <smiller@indot.in.gov>, Coon, Matthew <mcoon@indot.in.gov>, Perry, Leah <lperry@structurepoint.com>, Linda Weintraut JBass@indot.in.gov>, Allen, Michelle (FHWA) <michelle.allen@dot.gov>

Des. No.: 1601102

Project Description: SR 827 Roadway Improvement Project

Location: SR 827 from approximately 0.21 mile south of McSwain Drive to 0.016 mile north of SR 120 in Fremont, Steuben County, Indiana

The Indiana Department of Transportation, with funding from the Federal Highway Administration, proposes to proceed with the SR 827 Roadway Improvement Project (Des. No. 1601102). The Section 106 Early Coordination Letter for this project was originally distributed on July 12, 2019.

As part of Section 106 of the National Historic Preservation Act, an Effects Letter has been prepared and is ready for review and comment by consulting parties.

Please review this documentation located in IN SCOPE at http://erms.indot.in.gov/Section106Documents/ (the Des. No. is the most efficient search term, once in IN SCOPE), and respond with any comments that you may have. If a hard copy of the materials is needed, please respond to this email with your request within seven (7) days.

Consulting parties have thirty (30) calendar days from receipt of this information to review and provide comment. Tribal contacts may contact Shaun Miller at smiller@indot.in.gov or 317-233-6795 or Michelle Allen at FHWA at michelle.allen@dot.gov or 317-226-7344.

Thank you in advance for your input,

Clint Kelly Historian Cultural Resources Office Environmental Services 100 N. Senate Ave., Rm. 642 Indianapolis, IN 46204 Office: (317) 232-1349 Email: ckelly1@indot.in.gov





INDIANA DEPARTMENT OF TRANSPORTATION

100 North Senate Avenue Room N642 Indianapolis, Indiana 46204 PHONE: (317) 234-5168

Eric Holcomb, Governor Joe McGuinness, Commissioner

July 6, 2020

This letter was sent to the listed parties.

RE: State Road (SR) 827 Roadway Improvement Project (Des. No: 1601102, DHPA No.: 24113), Town of Fremont, Steuben County, Indiana.

Dear Consulting Party (see attached list),

The Indiana Department of Transportation (INDOT), with funding from the Federal Highway Administration (FHWA), proposes to proceed with the SR 827 Roadway Improvement Project (Des. No: 1601102). American Structurepoint, Inc. (Structurepoint) is under contract with INDOT to advance the environmental documentation for the referenced project. Weintraut & Associates (W&A) has been subcontracted to complete the Section 106 documentation for this project.

The intent of this letter is to provide additional information on project activities after distribution of updated design plans, and to discuss potential effects that may be reasonably foreseen on historic properties in the APE.

The proposed undertaking is located on SR 827, beginning 1.06 miles south of SR 120 and extending north to the intersection of SR 827 and SR 120, a distance of 0.93 mile in the Town of Fremont in Steuben County, Indiana. It is within Fremont Township on the Angola East USGS 7.5 Minute Quadrangle Maps in Sections 21 and 28, Township 38 North, and Range 14 East. (Appendix 1: Project Map and Site Plans.)

The proposed project consists of a hot mix asphalt (HMA) overlay with minor structural pavement rehabilitation and sections of full pavement replacement. Additionally, approximately 1,445 feet of SR 827 would be realigned from just south of Swager Road to just north of Broad Street. The realignment alternative would shift the intersection of Swager Road and SR 827 approximately 40 feet to the west. Due to this realignment, the railroad crossing at SR 827 and Swager Road would be moved southwest which is further away from the intersection of Swager Road and allows for movement of vehicles while a train is present. The roadway realignment would eliminate one set of existing reverse curves that are located just south of the railroad crossing.

The two culverts within the project area would be assessed to determine if replacement is needed. A new storm sewer with drainage inlets would be installed in curbed segments and drain to the existing detention pond located north of the intersection of SR 827 and Broad Street. The detention pond would be evaluated to determine if it needs to be expanded to handle the increase in runoff. Existing curb would be replaced with curb and gutter. New curb and gutter would be extended south to Swager Road. Storm sewer and curb inlets would be added to the curb and gutter sections. Curb ramps and sections of sidewalk throughout the project area would be reconstructed as needed to be ADA-compliant. (Appendix 2: Project Plans).

www.in.gov/dot/ An Equal Opportunity Employer



A Section 106 Early Coordination Letter (ECL), dated July 12, 2019, was sent to the following parties:

- Indiana State Historic Preservation Officer (SHPO)
- Eastern Shawnee Tribe of Oklahoma
- Forest County Potawatomi Community
- Miami Tribe of Oklahoma
- Peoria Tribe of Indians of Oklahoma
- Pokagon Band of Potawatomi Indians
- Fremont Town Council
- Steuben County Board of Commissioners
- Region III-A Economic Development District & Regional Planning Commission
- Indiana Landmarks Northern Regional Office
- Steuben County Historian
- Fremont Historical Society
- Steuben County Historical Society
- Fremont Area Chamber of Commerce
- Steuben County Highway Department
- Steuben County Economic Development Commission
- Steuben County Genealogical Society

On March 24, 2020, consulting parties were notified that a Historic Property Report (HPR) was available for review on INDOT's Section 106 document portal—IN-SCOPE. That same day, a copy of this notification was mailed to owners of historic properties within the APE—Mr. Glenn Wells (property owner of Warren D. Wells / Fremont Eagle Office) and Ms. Mavis Church (property owner of Erastus Farnham House).

The Indiana SHPO, Forest County Potawatomi Community, the Miami Tribe of Oklahoma, and the property owner of the Erastus Farnham House are participating consulting parties.

Identification & Evaluation of Historic Properties:

Archaeological Resources

With regard to archaeological resources, an archaeologist who meets the Secretary of the Interior's Professional Qualification Standards and who is a Principal Investigator as defined by the Indiana Department of Natural Resources, Division of Historic Preservation & Archaeology conducted an archaeological reconnaissance of a larger survey area intended to encompass all project improvements on November 1 and 6, 2019. The archaeologist has identified six new archaeological sites—12SN0217 to 12SN0222, none of which are being recommended for additional work within the project area. However, if construction plans are altered and the current site boundary is extended beyond the proposed right-of-way, impacting sites 12SN0217 and 12SN0220, the additional work is recommended. W&A prepared an Archaeology Report (Arnold, May 2020) that was transmitted to appropriate consulting parties on June 3, 2020.

Above-ground Resources

The HPR (Fivecoat 2020) identified no properties within the Area of Potential Effects (APE) listed in the National Register of Historic Places (NRHP). However, the HPR recommended three (3) above-ground resources within the APE— the Erastus Farnham House (Indiana Historic Sites and Survey Inventory [IHSSI] No.: 151-017-05031), Fremont Historic Commercial District (IHSSI Nos.: 151-017-06000 through 06023), and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043)—as eligible for listing in the



NRHP. SHPO concurred with these recommendations. (Appendix 1: Project Map and Site Plans for the historic property boundaries.)

Project Design Changes:

The latest plans for this project are enclosed with this letter. (Appendix 2: Project Plans). As these plans illustrate, the proposed project avoids taking permanent or temporary right-of-way from Contributing-rated structures within the Fremont Historic Commercial District and from individually eligible properties.

Effects Discussion:

According to 36 CFR § 800.5(a)(1): "An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative."

(i) Physical destruction or damage to all or part of the property;

(ii) Alteration of the property including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation, and provision of handicapped access, that is not consistent with the Secretary's standards for the treatment of historic properties (36 CFR part 68) and applicable guidelines; (iii) Removal of a property from its historic location;

(iv) Change of the character of the property's use or of physical features within the property's setting that contribute to its historic features;

(v) Introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features;

(vi) Neglect of a property which causes its deterioration, except where such neglect and deterioration are recognized qualities of a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization; and

(vii) Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforceable restrictions or conditions to ensure long-term preservation of the property's historic significance."

The discussion below considers the effects of the undertaking, using the examples given in 36 CFR 800.5(a)(2), on the three (3) historic resources within the area of potential effects (APE) for this undertaking: Erastus Farnham House (IHSSI No.: 151-017-05031), Fremont Historic Commercial District (IHSSI Nos.: 151-017-06000 through 06023), and the Warren D. Wells House/*Fremont Eagle* Office (IHSSI Nos.: 151-017-07043).

Erastus Farnham House (IHSSI No.: 151-017-05031) – No Adverse Effect

The HPR recommended a historic property boundary for the Erastus Farnham House that approximated the boundary shown in an illustration of the house in the *Atlas of Steuben County, Indiana* (1880). Staff of the SHPO, in correspondence dated April 21, 2020, concurred with this historic boundary. (Appendix 1: Project Map and Site Plans.)

As part of this project, approximately 1,445 feet of SR 827/Wayne Street would be realigned from just south of Swager Road to just north of Broad Street. The proposed project would shift the intersection of Swager Road and SR 827 approximately 40 feet to the west. Due to this realignment, the railroad crossing at SR 827 and Swager Road would be moved southwest, which is further away from the intersection of Swager Road and



allows for movement of vehicles while a train is present. The roadway realignment would eliminate one set of existing reverse curves that are located just south of the railroad crossing. (Appendix 2: Project Plans.)

The criteria of adverse effect, as described and defined in 36 CFR § 800.5(a) do not apply to the Erastus Farnham House.

Per 36 CFR § 800.5(a)(2)(i), the undertaking will not cause the "physical destruction of or damage to all or part of the property."

Per 36 CFR § 800.5(a)(2)(ii), there will not be "alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines."

Per 36 CFR § 800.5(a)(2)(iii), there will not be "removal of the property from its historic location."

Per 36 CFR § 800.5(a)(2)(iv), there will not be a change "of the character of the property's use or of physical features within the property's setting that contribute to its historic significance."

Per 36 CFR § 800.5(a)(2)(v), there will not be an "introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features." Mature trees and shrubs screen views from the historic property toward the adjacent railroad tracks and the intersection at Swager Road and SR 827/Wayne Street but some changes may still be visible. Although the changes to the roadway at Swager Road and SR 827 may introduce minor visual changes to the property, these visual changes do not adversely impact the property's significant historic features and do not present an adverse effect.

Per 36 CFR § 800.5(a)(2)(vi), there will be no neglect or deterioration of the property.

Per 36 CFR § 800.5(a)(2)(vii), there will be no "transfer, lease, or sale of the property out of Federal ownership or control."

The proposed undertaking requires no right-of-way from within the historic boundary of the Erastus Farnham House and the visual changes are minor; as a result, this project presents "No Adverse Effect" to the Erastus Farnham House.

Fremont Historic Commercial District (IHSSI Nos.: 151-017-06000 through 06023) – **No Adverse Effect** The HPR recommended a historic property boundary for the Fremont Historic Commercial District that matched the boundary identified in the *Steuben County Interim Report*. Staff of the SHPO, in correspondence dated April 21, 2020, concurred with this historic boundary. (Appendix 1: Project Map and Site Plans.)

Proposed project activities will reconstruct SR 827/Wayne Street road surface, replace existing curb with curb and gutter, add storm sewer and curb inlets, and reconstruct curb ramps and sections of sidewalk as required for ADA-compliance within the boundaries of this historic district. (Appendix 2: Project Plans.)

The criteria of adverse effect, as described and defined in 36 CFR § 800.5(a) do not apply to the Fremont Historic Commercial District.

Per 36 CFR § 800.5(a)(2)(i), the undertaking will not cause the "physical destruction of or damage to all or part of the property."



www.in.gov/dot/ An Equal Opportunity Employer Per 36 CFR § 800.5(a)(2)(ii), there will not be "alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines."

Per 36 CFR § 800.5(a)(2)(iii), there will not be "removal of the property from its historic location."

Per 36 CFR § 800.5(a)(2)(iv), there will not be a change "of the character of the property's use or of physical features within the property's setting that contribute to its historic significance."

Per 36 CFR § 800.5(a)(2)(v), there will not be an "introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features." The replacement and alteration of curb lines and sidewalks along SR 827/Wayne Street within the historic district will be visible and will introduce minor visual changes, but these will not diminish the integrity of significant historic features within the district and will not present an adverse effect.

Per 36 CFR § 800.5(a)(2)(vi), there will be no neglect or deterioration of the property.

Per 36 CFR § 800.5(a)(2)(vii), there will be no "transfer, lease, or sale of the property out of Federal ownership or control."

The undertaking requires no new right-of-way from the Fremont Historic Commercial District and changes to SR 827/Wayne Street area are minor; therefore, this project presents "No Adverse Effect" to the Fremont Historic Commercial District.

Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043) – No Adverse Effect The HPR recommended a historic property boundary for the Warren D. Wells House/*Fremont Eagle* Office that matched the legal parcel boundary identified in the Steuben County GIS map and property record. Staff of the SHPO, in correspondence dated April 21, 2020, concurred with this historic boundary. (Appendix 1: Project Map and Site Plans.)

The undertaking will reconstruct SR 827/Wayne Street road surface located adjacent to this property, replace existing curb with curb and gutter, add storm sewer and curb inlets, and reconstruct curb ramps and sections of sidewalk as required for ADA-compliance. (Appendix 2: Project Plans.)

The criteria of adverse effect, as described and defined in 36 CFR § 800.5(a) do not apply to the Warren D. Wells House/*Fremont Eagle* Office.

Per 36 CFR § 800.5(a)(2)(i), the undertaking will not cause the "physical destruction of or damage to all or part of the property."

Per 36 CFR § 800.5(a)(2)(ii), there will not be "alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines."

Per 36 CFR § 800.5(a)(2)(iii), there will not be "removal of the property from its historic location."



Per 36 CFR § 800.5(a)(2)(iv), there will not be a change "of the character of the property's use or of physical features within the property's setting that contribute to its historic significance."

Per 36 CFR § 800.5(a)(2)(v), there will not be an "introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features." Although the changes to the SR 827/Wayne Street roadway, curbs, curb ramps, and sidewalks adjacent to the historic property will present minor visual changes to the property, these visual changes do not adversely impact the property's significant historic features and do not present an adverse effect.

Per 36 CFR § 800.5(a)(2)(vi), there will be no neglect or deterioration of the property.

Per 36 CFR § 800.5(a)(2)(vii), there will be no "transfer, lease, or sale of the property out of Federal ownership or control."

The proposed undertaking requires no new right-of-way from the Warren D. Wells House/*Fremont Eagle* Office and changes to the adjacent SR 827/Wayne Street roadway, curbs, and sidewalks are minor; therefore, this project presents "No Adverse Effect" to the Warren D. Wells House/*Fremont Eagle* Office.

Conclusions:

In accordance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. 470f), the project historians examined this project and assessed its potential to adversely affect historic properties in the APE. As noted above, historians believe that this project would have no adverse effect on the Erastus Farnham House (IHSSI No.: 151-017-05031), Fremont Historic Commercial District (IHSSI Nos.: 151-017-06000 through 06023), and Warren D. Wells House/*Fremont Eagle* Office (IHSSI No.: 151-017-07043). Therefore, it is the professional opinion of the historians that the appropriate overall finding for this undertaking is "No Adverse Effect."

Please provide any written comments regarding the effects of the undertaking on historic properties within thirty (30) calendar days of posting/receipt of this letter. Tribal consulting parties may enter the process at any time and are encouraged to respond to this notification with any comments or concerns at their earliest convenience.

For questions concerning specific project details, you may contact Leah Perry of American Structurepoint, Inc. at 317.547.5580 or lperry@structurepoint.com. All future responses regarding the proposed project should be forwarded to American Structurepoint, Inc. at the following address:

Leah Perry Environmental Specialist American Structurepoint, Inc. 9025 River Road, Suite 200 Indianapolis, IN 46240 Phone: 317.547.5580

Tribal contacts may contact Shaun Miller at <u>smiller@indot.in.gov</u> or 317-233-6795 or Michelle Allen at FHWA at <u>michelle.allen@dot.gov</u> or 317-226-7344.

Sincerely,

Anuradha V. Kumar, Manager Cultural Resources Office Environmental Services

Enclosures:

1. Project Map and Site Plans

2. Project Plans

Distribution List: Eastern Shawnee Tribe of Oklahoma Forest County Potawatomi Community Miami Tribe of Oklahoma Peoria Tribe of Indians of Oklahoma Pokagon Band of Potawatomi Indians Ms. Mavis Church (property owner of Erastus Farnham House) Indiana State Historic Preservation Officer



APPENDIX 1

PROJECT MAP AND SITE PLANS

Map and Site Plans omitted as they are in Appendix A.

APPENDIX 2

PROJECT PLANS

Plans are omitted as they are in Appendix F.

Division of Historic Preservation & Archaeology · 402 W. Washington Street, W274 · Indianapolis, IN 46204-2739 Phone 317-232-1646 · Fax 317-232-0693 · dhpa@dnr.IN.gov · www.IN.gov/dnr/historic



July 29, 2020

Leah Perry Environmental Specialist American Structurepoint 9025 River Road, Suite 200 Indianapolis, Indiana 46240

> Federal Agency: Indiana Department of Transportation ("INDOT"), on behalf of Federal Highway Administration, Indiana Division ("FHWA")

Re: Effects letter for the SR 827 Roadway Improvement Project in the Town of Fremont, Steuben County, Indiana (Des. No. 1601102; DHPA No. 24113)

Dear Ms. Perry:

Pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended (54 U.S.C. § 306108), 36 C.F.R. Part 800, and the "Programmatic Agreement (PA) Among the Federal Highway Administration, the Indiana Department of Transportation, the Advisory Council on Historic Preservation and the Indiana State Historic Preservation Officer Regarding the Implementation of the Federal Aid Highway Program In the State of Indiana," the staff of the Indiana State Historic Preservation Officer ("Indiana SHPO" or "INDNR-DHPA") has reviewed INDOT's letter dated July 6, 2020 and enclosures that were received electronically on July 6.

Thank you for providing project plans for the current, preferred alternative. Six archaeological sites, 12Sn217 to 12Sn222, were identified within the area surveyed and as previously stated we agreed that the portions of these sites within the area surveyed were not eligible for inclusion in the National Register of Historic Places ("NRHP").

Furthermore, we previously agreed that the only above-ground properties eligible for inclusion in the NRHP within the area of potential effects are:

- Erastus Farnham House at 205 West Swager Road (IHSSI No.: 151-017-05031), criteria A and C.
- Fremont Historic Commercial District (IHSSI Nos.:151-017-06000 through 151-017-06023), criteria A and C.
- Warren D. Wells House/*Fremont Eagle* Office at 200 South Wayne Street (IHSSI No.: 151-017-07043), criteria A and C.

As long as the proposed project scope or alignment is not modified in the vicinity of archaeological sites 12Sn217 and 12Sn220 or any of the above-ground properties, we do not think this project will adversely affect them. We think it might now be appropriate to ask INDOT for a finding.

As previously noted, the project area is adjacent to the Old Fremont cemetery (CR-76-6, IHSSI 151-017-07049). Please be aware of the cemetery development plan requirements in Indiana Code 14-21-1-26.5

(http://iga.in.gov/legislative/laws/2018/ic/titles/014/#14-21-1-26.5) for ground disturbance within 100 feet of a cemetery.

If any prehistoric or historic archaeological artifacts or human remains are uncovered during construction, demolition, or earthmoving activities, state law (Indiana Code 14-21-1-27 and -29) requires that the discovery be reported to INDNR-DHPA within two (2) business days. In that event, please call (317) 232-1646. Be advised that adherence to Indiana Code 14-21-1-27 and -29 does not obviate the need to adhere to applicable federal statutes and regulations, including but not limited to 36 C.F.R. Part 800.

The Indiana SHPO staff archaeological reviewer for this project is Beth K. McCord, and the structures reviewer is John Carr. However, if you have a question about the Section 106 process, please contact initially the INDOT Cultural Resources staff members who are assigned to this project.

In all future correspondence regarding the SR 827 Roadway Improvement Project in Fremont, Steuben County, Indiana (Des. No. 1601102), please continue to refer to DHPA No. 24113.

Very truly yours,

1Cha 1 W Shin

Beth K. McCord Deputy State Historic Preservation Officer

BKM:JLC:jlc

- cc: Mavis Church, owner of 205 West Swager Road Glenn Wells, owner of 200 South Wayne Street
- emc: Karstin Carmany-George, FHWA Michelle Allen, FHWA Anuradha Kumar, INDOT Shaun Miller, INDOT Susan Branigin, INDOT Leah Perry, American Structurepoint Linda Weintraut, Ph.D., Weintraut & Associates Craig Arnold, Weintraut & Associates Forest County Potawatomi Community Miami Tribe of Oklahoma Eastern Shawnee Tribe of Oklahoma Peoria Tribe of Indians of Oklahoma Pokagon Band of Potawatomi Indians Town of Fremont, Clerk-Treasurer Town of Fremont, Street Superintendent Beth K. McCord, INDNR-DHPA John Carr, INDNR-DHPA

Appendix C: Consulting Parties

Note: This is Appendix C of the finding.

SR 827 Fremont Road Improvement Project In the Town of Fremont, Fremont Township, Steuben County, Indiana Des. No.: 1601102

	58.62711011	ont Roadway inipi	oveniene i ro	Jeet (Des 110: 1001		
Name	Company/Organization	Address	Phone	Email	Accepted Invitation	Notes
		Division of Historic				
		Preservation &				
		Archaeology				
		402 W. Washington				
		St., W274				
Beth McCord	SHPO	Indianapolis, IN 46204		cslider@dnr.in.gov		Designated CP
		P.O. Box 602 Fremont,				
Steve Brown	Fremont Town Council	IN 46737		Mailed		
	Steuben County Board of			countycommissioners		
Ronald Smith	Commissioners			@co.steuben.in.us		
	Region III-A Economic					
	Development District &					
	Regional Planning			mbrinkman@region3		
Matt Brinkman	Commission			a.org		
	Indiana Landmarks-	801 W. Washington		north@indianalandm		
Todd Zeiger	Northern Regional Office	Street		arks.org		
	Steuben County			pkdilbone6811@gmai		
Peg Dilbone	Historian			l.com		
	Steuben County					
	Economic Development			office@steubenedc.c		
Isaac Lee	Commission			om		
-						
	Steuben County			office@steubenedc.c		
Isaac Lee	Economic Dev. Comm.			om		
	Steuben County	PO Box 884 Angola, IN				
Julia Duncan	Genealogical Society	46703-0884		Mailed		
	From ont Historical	PO Box 509 Fremont				
Janet Hankes	Fremont Historical	IN 46737		Mailed		
Janet Hankes	Society			Walleu		
	Charles County	75 Lane 150C Lake				
lim Comore	Steuben County	James Angola, IN		Mailed		
Jim Somers	Historical Society	46703-0884		Ivialleu		
		PO Box 462 or 102				
	Fremont Area Chamber	Toledo St. Fremont, IN		fremontct@townoffr		
Linda Fulton	of Commerce	46737		emont.org		
	Steuben County Highway					
	Department,			steubencountyhwy@		
	Superintendent			mchssi.com		
	Stauban County	DO Boy 994 Aprola IN		staubancountubure		
	Steuben County	PO Box 884 Angola, IN		steubencountyhwy@		
	Genealogical Society	46703-0884		<u>mchsi.com</u>		
	Property Owner 205			mimic music Oract-		Via phone April 22, 2020 (Wants email and hard
Mavis Church	Swager Road (Erastus Farnham House)		1-260-495-7101	mimis music@proto		(wants email and hard copy of documents)
	parman nouse)	L	1-200-492-7101	minall.com	l	copy of documents)

Tribal Contacts - INDOT will coordinate with Tribal Representatives

Eastern Shawnee Tribe of Oklahoma

Forest County Potawatomi Community

Miami Tribe of Oklahoma

Peoria Tribe of Indians of Oklahoma

Pokagon Band of Indians of Oklahoma

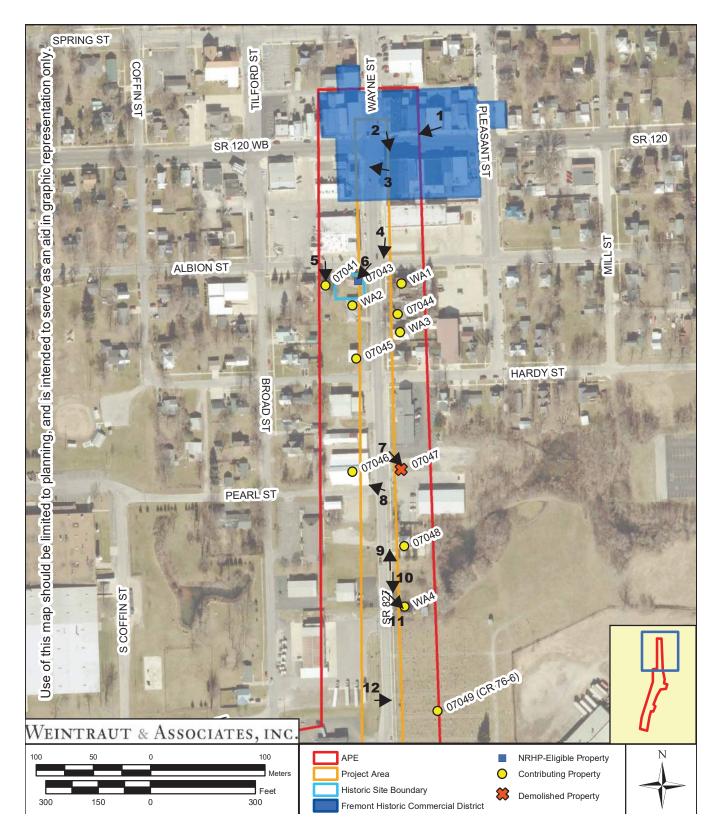
YES (letter dated August 12, 2019)

YES (letter dated August 12, 2019)

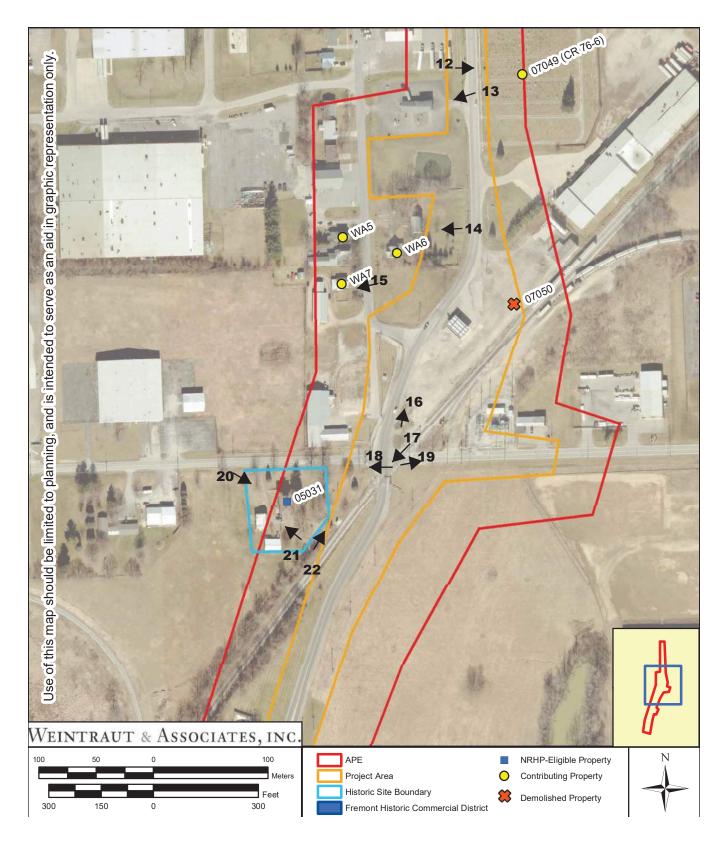
Appendix D: Photographs

<u>Note:</u> This is Appendix D of the finding.

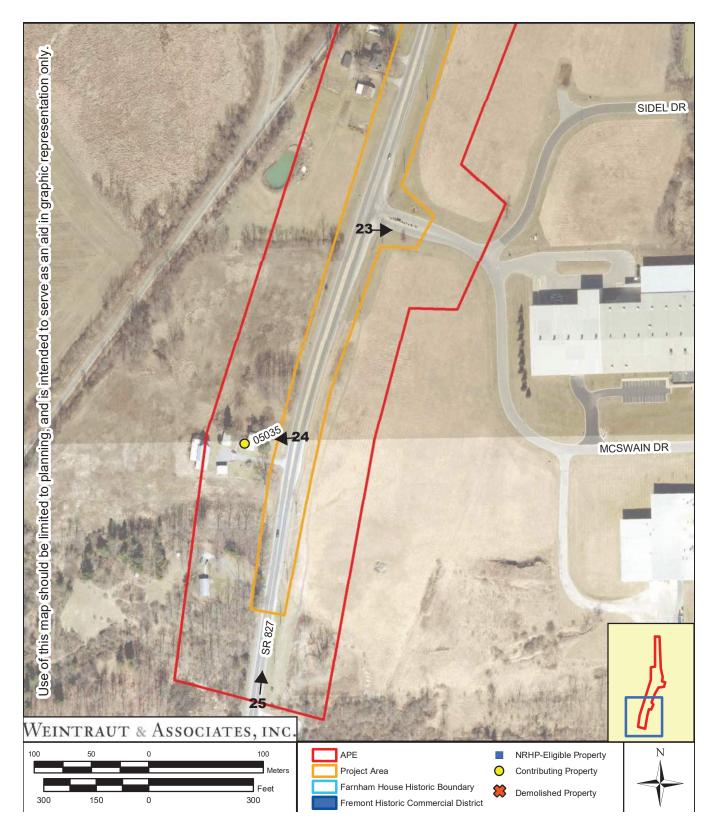
SR 827 Fremont Road Improvement Project In the Town of Fremont, Fremont Township, Steuben County, Indiana Des. No.: 1601102



MAP I. THE PROJECT LOCATION, APE, CONTRIBUTING PROPERTIES, AND THE HISTORIC SITE BOUNDARIES OF THE FREMONT HISTORIC COMMERCIAL DISTRICT, ERASTUS FARNHAM HOUSE, AND WELLS HOUSE / *FREMONT EAGLE* OFFICE SHOWN ON A 2017 AERIAL PHOTOGRAPH WITH PHOTO LOCATIONS.



MAP 2. THE PROJECT LOCATION, APE, CONTRIBUTING PROPERTIES, AND THE HISTORIC SITE BOUNDARIES OF THE FREMONT HISTORIC COMMERCIAL DISTRICT, ERASTUS FARNHAM HOUSE, AND WELLS HOUSE / *FREMONT EAGLE* OFFICE SHOWN ON A 2017 AERIAL PHOTOGRAPH WITH PHOTO LOCATIONS.



MAP 3. THE PROJECT LOCATION, APE, CONTRIBUTING PROPERTIES, AND THE HISTORIC SITE BOUNDARIES OF THE FREMONT HISTORIC COMMERCIAL DISTRICT, ERASTUS FARNHAM HOUSE, AND WELLS HOUSE / *FREMONT EAGLE* OFFICE SHOWN ON A 2017 AERIAL PHOTOGRAPH WITH PHOTO LOCATIONS.



1. Fremont Historic Commercial District - This view looks west along SR 120 at the north end of the APE.



2. Fremont Historic Commercial District - There are several late nineteenth century brick buildings in the identified district.



3. Fremont Historic Commercial District - A modern gas station sits on the southwest corner of SR 827 and SR 120, looking west.



4. Residential properties mix with commerical structures along SR 827 in the northern section of the APE, looking south.



5. The small, hipped roof house (151-017-07041) at 103 West Albion Street is an example of a Contributing-rated structure in the APE.



6. The Wells House (Fremont Eagle Office, 151-017-07043) is an Italianate with a corner cut entry, looking southwest.



7. The Dollar General store was built on the site of the Fremont Lumber House (151-017-07047) that was demolished.



8. The Fremont Lumber building (151-017-07046) has additions, fenestration changes, and upgraded siding.



9. This view looks north along SR 827 (Wayne Street) just north of the Old Fremont Cemetery.



10. Modern commercial properties have grown up along SR 827 near the Old Fremont Cemetery



11. The front gable house at 407 South Wayne Street (WA4) is another Contributing-rated resource in the APE.



12. The Old Fremont Cemetery (151-017-07049, CR 76-6) has burials dating back to 1842, looking east



13. The car wash at 106 South Wayne Street is an example of a Non-Contributing-rated proeprty in the APE, looking southwest.



14. A large wooden barn at 703 South Broad (WA4) sits adjacent to SR 827 north of Swager Road, looking west



15. The house at 704 South Broad Street (WA7) is a another example of Contributing-rated resources in the APE, looking west.



16. This modern gas station was built near the site of the demolished Grain Co-Op (1511-017-07050), looking north near Swager Road



17. The Indiana Northeastern Railroad runs through the APE crossing SR 827 at Swager Road.



18. This view looks west along Swager Road across SR 827 and the Indiana Northeastern track.



19. An electrical substation sits on Swager Road west of the railroad track at the east end of the APE.



20. The brick Italianate-style Farnham house (151-017-05031) has paired brackets, round arch windows, and a cupola, looking east.



21. The Farnham House (151-017-05031) has some one story additions, looking northwest.



22. Trees and shrubs separate the west edge of the railroad track from the Farnham House, looking north.



23. The modern Crossroads Industrial Park sits off of SR 827 south of Swager Road, looking east.



24. A Folk Victorian house at 5145 SR 827 (151-017-05035) and barn are located near the south end of the APE, looking west.



25. This view looks north along SR 827 from the southern end of the APE.

.....

Appendix E: Report Summaries

Note: This is Appendix E of the finding.

SR 827 Fremont Road Improvement Project In the Town of Fremont, Fremont Township, Steuben County, Indiana Des. No.: 1601102



Historic Property Report State Road 827 Roadway Improvement Project DES No.: 1601102 Town of Fremont, Fremont Township, Steuben County, Indiana

> Prepared for American Structurepoint/Indiana Department of Transportation

Prepared by WEINTRAUT & ASSOCIATES, INC. Principal Investigator: Dr. Linda Weintraut Authors: Douglas K. Fivecoat, M.A. and Kelly Lally Molloy, M.A. PO Box 50341 Zionsville, Indiana 1 (317) 733-9770 1 (Linda@weintrautinc.com)

Contact for American Structurepoint: Briana Hope | 9025 River Road, Suite 200 | Indianapolis, IN 46240 | (317) 547-5580 | (bhope@structurepoint.com)

February 24, 2020

Executive Summary: State Road 827 Roadway Improvement Project DES No.: 1601102 | Town of Fremont, Fremont Township, Steuben County, Indiana

This report documents the identification and evaluation efforts for properties included in the Area of Potential Effects (APE) for the State Road (SR) 827 Road Improvement Project in the Town of Fremont, Fremont Township, Steuben County, Indiana. Above-ground resources located within the project APE were identified and evaluated in accordance with Section 106, National Historic Preservation Act (NHPA) of 1966, as amended, and the regulations implementing Section 106 (36 CFR Part 800).

As a result of the NHPA, as amended, and CFR Part 800, federal agencies are required to take into account the impact of federal undertakings upon historic properties in the area of the undertaking. Historic properties include buildings, structures, sites, objects, and/or districts that are eligible for or listed in the National Register of Historic Places (NRHP). As this project is receiving funding from the Federal Highway Administration (FHWA), it is subject to a Section 106 review.

The APE contains no properties listed in the NRHP.

The APE contains three properties that are recommended eligible for listing in the NRHP:

- Erastus Farnham House (Indiana Historic Sites and Structures Inventory [IHSSI] No.: 151-017-05031)
- Fremont Historic Commercial District (IHSSI Nos.: 151-017-06000 through 151-017-06023)
- Warren D. Wells House / *Fremont Eagle* Office (IHSSI No.: 151-017-07043)

Weintraut & Associates, inc.



Archaeological Records Check and Phase Ia Reconnaissance: SR 827 Roadway Improvement Project In Fremont Township, Steuben County, Indiana Des. No. 1601102

> Prepared for American Structurepoint, Inc., and Indiana Department of Transportation/Federal Highway Administration

> > Prepared by WEINTRAUT & ASSOCIATES, INC.

2, R. and

Principal Investigator: Craig R. Arnold P.O. Box 5034 | Zionsville, Indiana | (317)733-9770 | (Inda@weintrautinc.com)

May 2020

At the request of American Structurepoint Inc. (Structurepoint), Weintraut & Associates, Inc. (W&A) conducted an archaeological records check and a Phase Ia field reconnaissance for the State Road (SR) 827 Roadway Improvement Project in Fremont, Steuben County, Indiana (Des. No. 1601102). Section 106 of the National Historic Preservation Act (NHPA) requires federal agencies to take into account the impacts of their undertakings on historic properties. This Indiana Department of Transportation (INDOT) project is utilizing Federal Highway Administration (FHWA) funding, which requires a Section 106 review. The INDOT Fort Wayne District intends to proceed with the aforementioned roadway improvement project in Steuben County. The proposed undertaking is on SR 827, beginning 0.76 kilometer (km) (0.47 mile [mi]) south of Swager Road and extending approximately 1.64 km (1.02 mi) north to the intersection of SR 827/Wayne Street and SR 120/Toledo Street. It lies within Fremont Township on the USGS 7.5-Minute series Angola East, Indiana, topographic quadrangle map in Sections 21 and 28, Township 38 North, Range 14 East. The W&A survey area measured 8.15 hectares (ha), or 20.15 acres (ac).

This investigation was conducted in accordance with Indiana Department of Natural Resources, Division of Historic Preservation and Archaeology (IDNR/DHPA) guidelines (2019) and with the INDOT Cultural Resource Manual (2015). The goals of the W&A Phase Ia reconnaissance were to: 1) identify and verify the presence or absence of cultural deposits within the project area; 2) assess the potential of any sites identified for inclusion in the Indiana Register of Historic Sites and Structures (IRHSS) or the National Register of Historic Places (NRHP); and 3) collect sufficient information to identify the cultural affiliation of any sites located and their possible function(s).

Six new archaeological sites (12SN0217 to 12SN0222) were encountered during the Phase Ia archaeological field reconnaissance of the survey area. Four of the sites (12SN0217, 12SN0218, 12SN0219, and 12SN0221) are Historic scatters. Site 12SN0220 is a multicomponent site, containing an Historic scatter and a Precontact lithic scatter of an unknown temporal period. Site 12SN0222 is an Historic isolate consisting of one ceramic ironstone sherd. Sites 12SN0217 and 12SN0220 most likely extend beyond the current survey boundaries, with the possibility of there being associated structures and cultural features nearby. However, as currently surveyed none of the sites exhibit the research potential requisite for listing in the IRHSS or NRHP under Criterion D.

Weintraut & Associates, inc.

Due to the low density of the artifact scatters, the lack of any distinguishable cultural strata, and consequently their inability to contribute additional significant information, the portions of sites 12SN0217 and 12SN0220 within the survey area fail to meet the eligibility criteria threshold and are recommended as not eligible for listing in the NRHP and/or the IRHSS. However, the remainder of sites 12SN0217 and 12SN0220 extending beyond the survey limits remain undefined and unassessed. Further survey work is recommended for these portions if construction plans are altered and the current survey boundary is extended beyond the proposed right-of-way (ROW), impacting these areas in the future. Based on the results of the background research and the Phase Ia fieldwork, no further archaeological work appears warranted for the ROW as currently proposed and project clearance is recommended. However, these recommendations are made with the understanding that if any previously unidentified intact archaeological deposits or human remains are uncovered during construction, demolition, or earthmoving activities, work within the area will stop and the IDNR/DHPA will be notified of the discovery within two (2) business days as required by Indiana Code 14-21-1-27 and 29.

Appendix F: Plans

Note: This is Appendix F of the finding.

SR 827 Fremont Road Improvement Project In the Town of Fremont, Fremont Township, Steuben County, Indiana Des. No.: 1601102

PROJECT	DESIGNATION
1601102	1601102
CONTRACT	BRIDGE FILE
RS-42149	N/A



Indy-Pdf pltcfg Indiana_Shade



9025 RIVER ROAD, SUITE 200 INDIANAPOLIS, IN 46240 TEL 317.547.5580 FAX 317.543.0270 www.structurepoint.com

bwhitehead

4/8/2020

4.11.11 PM

P:\2017\02101\D. Drawings\201702101.0003.RD.TS.01.dgn

INDIANA DEPARTMENT OF TRANSPORTATION



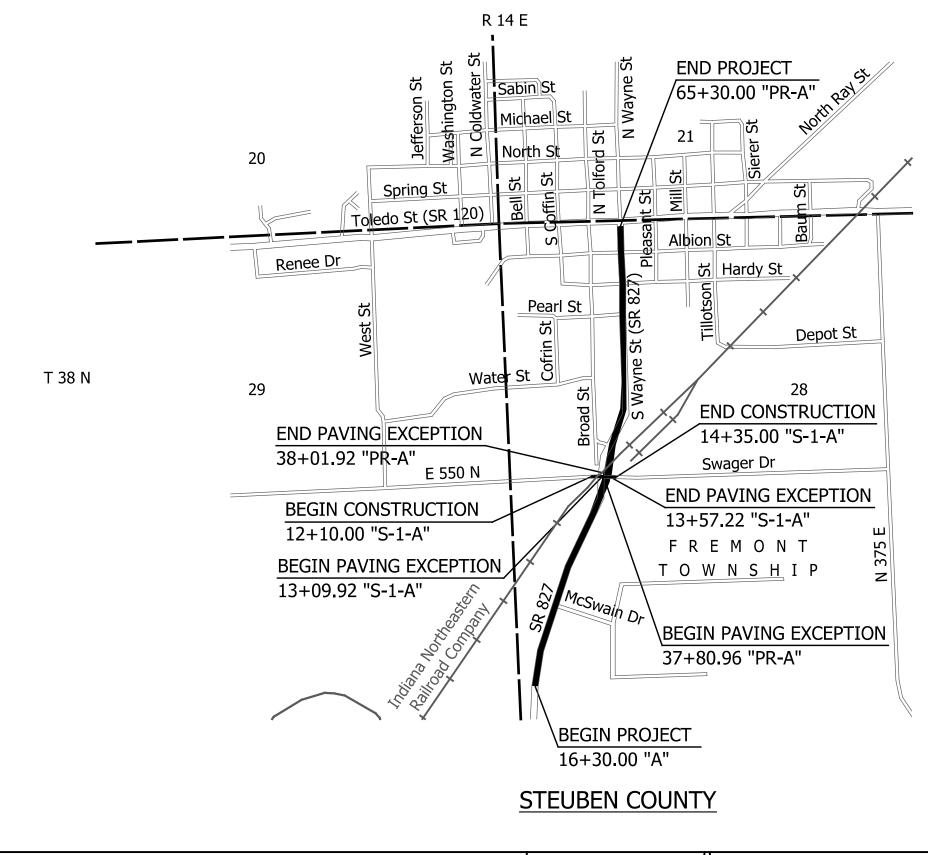
ROAD PLANS

ROUTE: SR 827 FROM: RP PROJECT NO.

6+20 TO: RP 1601102 1601102 1601102

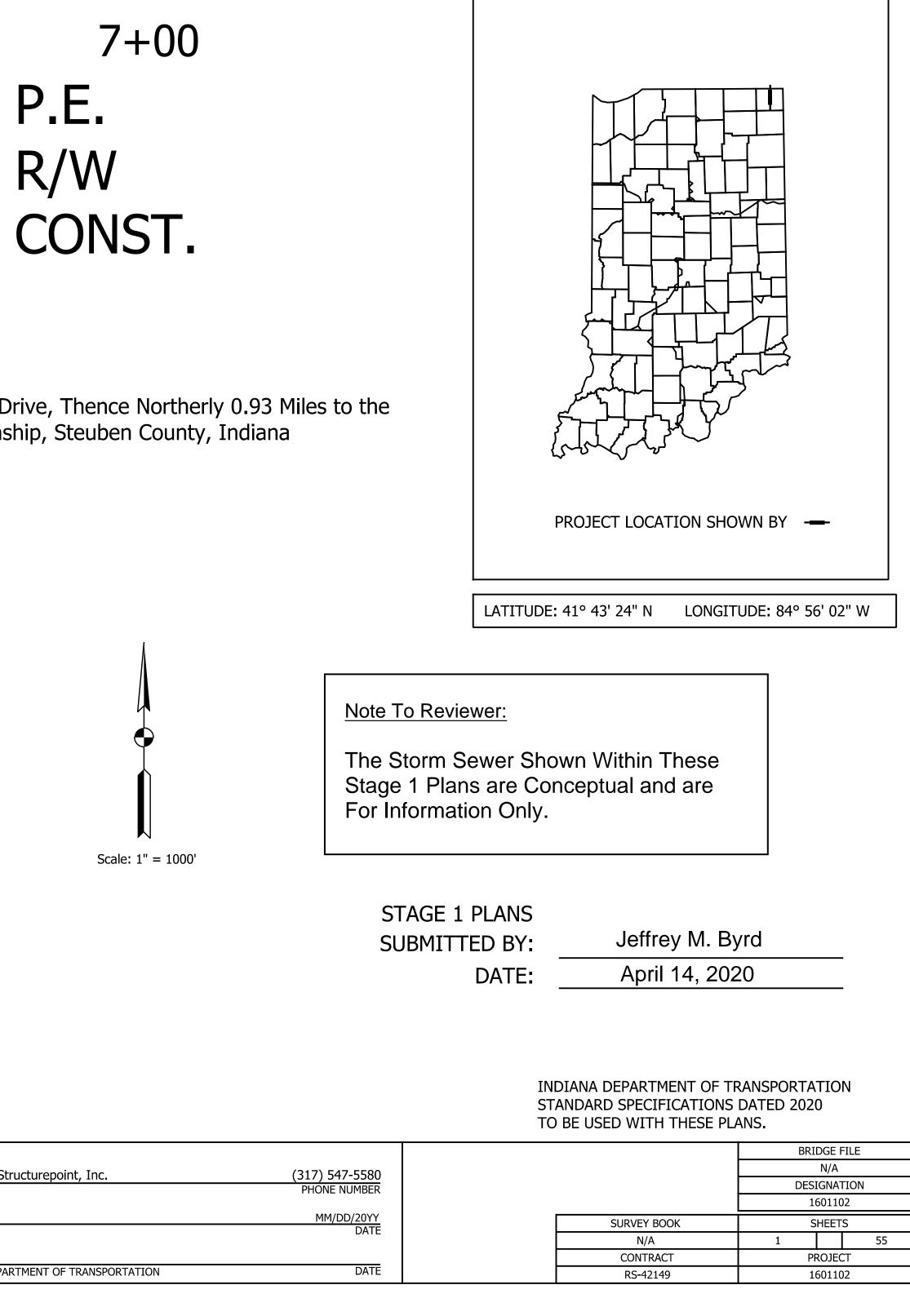
Gross Length:	0.93 MI.
Net Length:	0.92 MI.
Maximum Grade:	2.35 %

Project Description: HMA Overlay Minor Structural on SR 827 Beginning 850 Feet South of McSwain Drive, Thence Northerly 0.93 Miles to the Intersection of SR 827 and SR 120 in Section 28, T 38 N, R 14 E, Fremont Township, Steuben County, Indiana



PLANS PREPARED BY:	American Structurepoint, Inc.
CERTIFIED BY:	
APPROVED FOR LETTING:	
	INDIANA DEPARTMENT OF TRANSPO

TRAFFIC D	ATA	SR 827		Swager Driv	/e
A.A.D.T.	2022	5,565	V.P.D.	1,000	V.P.D.
A.A.D.T.	2042	7,500	V.P.D.	1,000	V.P.D.
D.H.V	2042	800	V.P.H.	100	V.P.H.
DIRECTIONAL DISTRIBUTION		43 / 57	%	50	%
TRUCKS		10 %	A.A.D.T.	10 %	A.A.D.T
INDERG					
		5 %	D.H.V.	5 %	D.H.V.
DESIGN DA					
DESIGN DA		Varies; 30-55	D.H.V.	30	D.H.V. M.P.H
DESIGN SPEED PROJECT DESIGN CRITERIA		Varies; 30-55 3R (Non-Freeway)		30 3R (Non-Freeway)	
DESIGN DA		Varies; 30-55		30	
DESIGN SPEED PROJECT DESIGN CRITERIA FUNCTIONAL CLASSIFICATION		Varies; 30-55 3R (Non-Freeway) State Collector		30 3R (Non-Freeway) Local Street	



UTILITIES

WATER Town of Fremont 205 N. Tolford Street Fremont, IN 46737

Fremont, IN 46737 (260) 495-5303 Contact: Mitchel Sattison

<u>TELEPHONE</u> Frontier Communications 112 W. Broad Street Angola, IN 46703 (260) 665-4072 Contact: David Short

<u>SEWER</u> Town of Fremont WWTP 1960 W. Swager Drive Fremont, IN 46737 (260) 495-9933 Contact: James Humbarger

CABLE TV

Mediacom 1101 Auburn Drive Auburn, IN 46706 (574) 275-1793 Contact: John Weidner

<u>GAS</u> NIPSCO 1153 Auburn Drive Auburn, IN 46706 (260) 925-2700 Ext. 242 Contact: Gary Freed

ELECTRIC Steuben County REMC 1212 S. Wayne Street Angola, IN 46703 (260) 665-3563 Contact: David VanAken

<u>ELECTRIC</u> NIPSCO 700 W. Broad Street Angola, IN 46703 (260) 647-6501 Contact: Jim Magdziarz

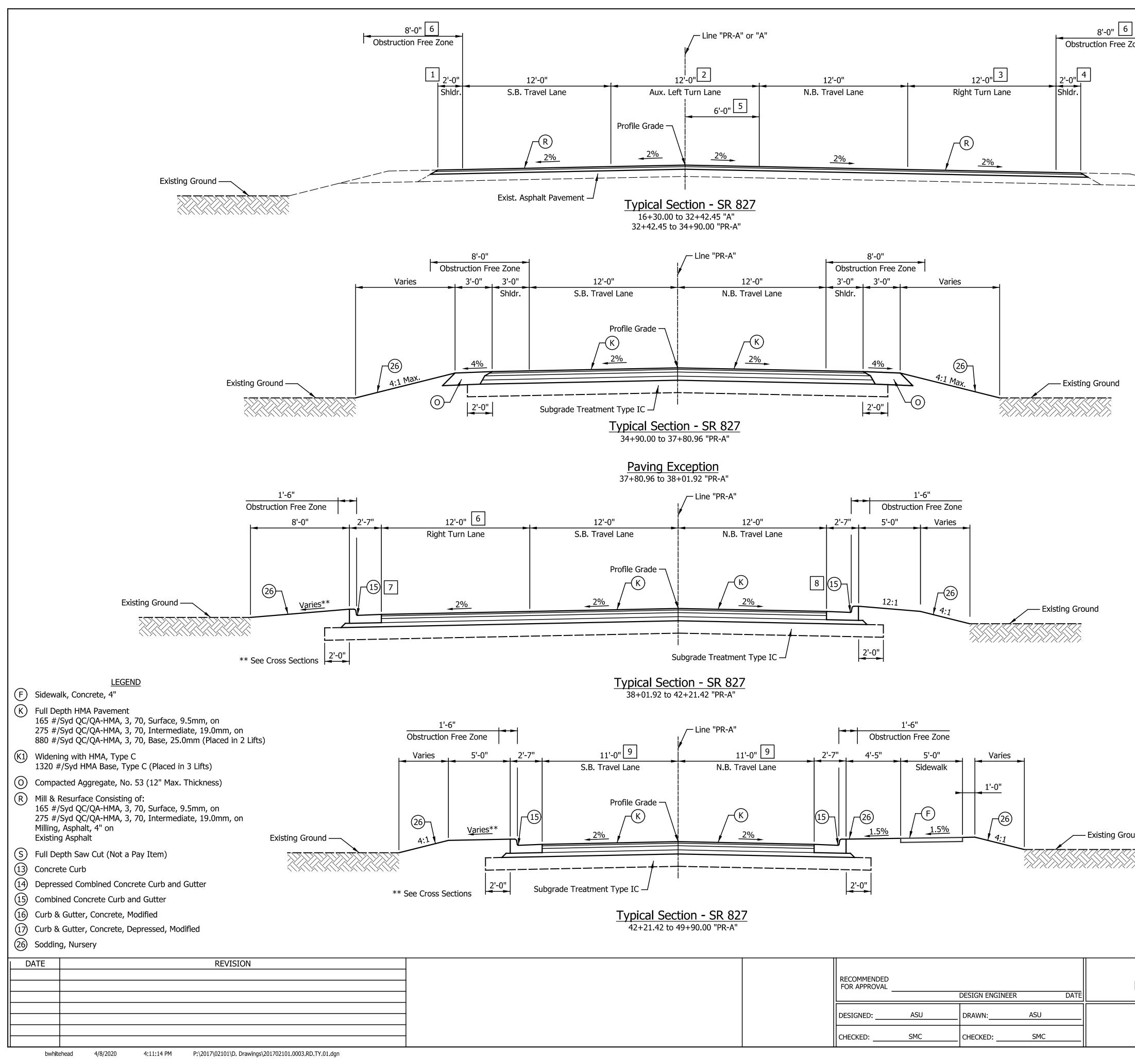
REVISIONS				
SHEET NO.	DATE	REVISED		

	GENERAL NOTES	
	All earth shoulders, median areas, and cut and fill slopes shall be plain or mulch seeded except where sodding is specified	
	The final cross sections of the grading contract will be the original cross sections of the paving contract. However, partial or complete cross sections shall be taken if necessary to determine the actual excavation quantities.	
	The paper relocation will be cross sectioned by the Engineer before construction.	
	Existing asphalt pavement located outside the construction limits, between Sta and Sta, shall be removed as directed.	
	The quantity of peat excavation shown on the plans has been estimated on the basis of theoretical cross sections by using treatment of existing fills, treatment by removal, or treatment by displacement, where each treatment applies.	
	All limited access right-of-way (L.A. R/W) is to be fenced with chain link type fence (CLTF) or farm field type fence (FFTF) where specified in the plans.	
**	Contractor shall verify existing flowline elevations to set the appropriate sump depth.	

** REPRESENTS GENERAL NOTES REQUIRED

		INDIANA	HORIZONTAL SCALE	BRIDGE FILE
RECOMMENDED FOR APPROVAL	DESIGN ENGINEER DATE	DEPARTMENT OF TRANSPORTATION	VERTICAL SCALE N/A	DESIGNATION 1601102
DESIGNED: JMB	DRAWN: CAK		SURVEY BOOK N/A	SHEETS 2 of 55
CHECKED: ASU	CHECKED: JMB	INDEX AND GENERAL NOTES	CONTRACT RS-42149	PROJECT 1601102

INDEX				
SHEET NO.	DRAWING INDEX			
1	Title Sheet			
2	Index and General Notes			
3-5	Typical Cross Sections			
6-7	Plat No. 1			
8	Reference Point Tie-Ups			
9	Geometric Tie-in Details			
10-15	Plan and Profile Sheets			
16-24	Construction Details			
25-55	Cross Sections			



pltcfg Shade

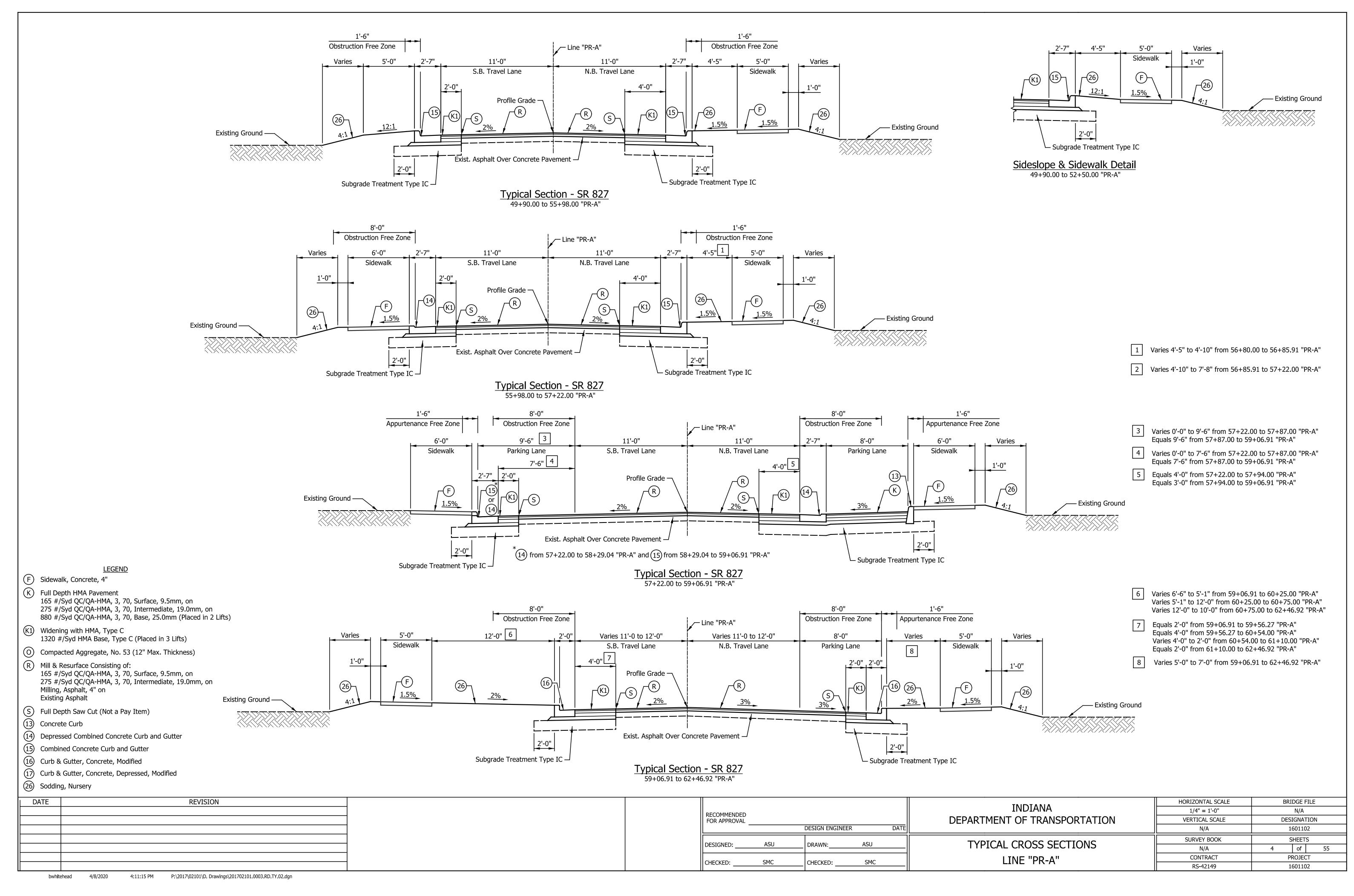
 Varies 12°-0° to 0°-0° from 41+33.68 to 42+21.42 "PR-A" Varies 12°-0° to 0°-0° from 41+33.68 to 42+21.42 "PR-A" 	," 6		1	2'-0" Min.: Varies 2'-0" to 4'-0" "A"
Varies 0°-0° to 12°-0° from 25+24.216.20 52+45.62 "A" Equals 0°-0° from 26+45.62 to 32+42.45 "A" 4 2°-0° from 16+3.00 to 18+5.118 "A" Equals 0°-0° from 18+5.118 to 29+87.00 to 32+42.25 "A" 5 Varies 1°-3° to 6°-0° from 16+30.00 to 18+5.118 "A" Equals 0°-0° from 29+87.06 to 32+42.25 "A" 6 Equals 12°-0° from 16+30.00 to 20+20.00 "A" 6 Varies 12°-0° to 0°-0° from 16+30.00 to 20+20.00 "A" 6 Varies 12°-0° to 0°-0° from 16+30.00 to 20+20.00 "A"	Free Zone		2	Varies 2'-6" to 12'-0" from 16+30.00 to 18+51.18 "A" Equals 12'-0" from 18+51.18 to 29+87.06 "A" Varies 12'-0" to 0'-0" from 29+87.06 to 32+42.25 "A"
4 2'-0" Min.: Varies 2'-0" to 6'-0" Along Line "A" 5 Varies 1'-3" to 6'-0" from 16+30.00 to 18+51.18 "A" Existing Ground Varies 6'-0" from 16+30.00 to 28+20.25 "A" Equals 6'-0" from 32+42.25 to 34+90.00 "A" 6 Equals 12'-0" from 16+30.00 to 20+20.00 "A" 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combleed Concrete Curb and Gutter Begins 38+50.00 "PR-A"			3	Equals 0'-0" from 21+86.53 to 23+12.88 "A" Varies 0'-0" to 12'-0" from 23+12.88 to 25+42.91 "A" Varies 12'-0" to 0'-0" from 25+42.91 to 26+45.62 "A"
Equals 6'-0" from 18+51.18 to 29+87.06 "A" Varies 6'-0" from 19+51.18 to 29+87.06 "A" Varies 6'-0" from 19+51.18 to 29+87.06 "A" Varies 6'-0" from 19+51.18 to 29+87.06 "A" Equals 0'-0" from 16+30.00 to 20+20.00 "A" 6 Equals 12'+0" from 16+30.00 to 20+20.00 "A" 4 d 6 Varies 12'+0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"			4	
6 Varies 12'-0" from 16+30.00 to 20+20.00 "A" 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"		Existing Ground		Equals 6'-0" from 18+51.18 to 29+87.06 "A" Varies 6'-0" to 0'-0" from 29+87.06 to 32+42.25 "A"
id 6 Varies 12"-0" to 0"-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				Equals 0'-0" from 32+42.25 to 34+90.00 "A"
 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A" 		' KI KI KI KI KI KI KI KI	6	Equals 12'-0" from 16+30.00 to 20+20.00 "A"
 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A" 				
 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A" 				
 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A" 				
 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A" 				
 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A" 				
 6 Varies 12'-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A" 7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A" 	4			
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"	d			
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
7 Combined Concrete Curb and Gutter Begins 38+50.00 "PR-A"				
		6 Va	nries 12	"-0" to 0'-0" from 41+33.68 to 42+21.42 "PR-A"
8 Combined Concrete Curb and Gutter Begins 38+75.18 "PR-A"		7 Cc	ombine	d Concrete Curb and Gutter Begins 38+50.00 "PR-A"
		8 Cc	ombine	d Concrete Curb and Gutter Begins 38+75.18 "PR-A"

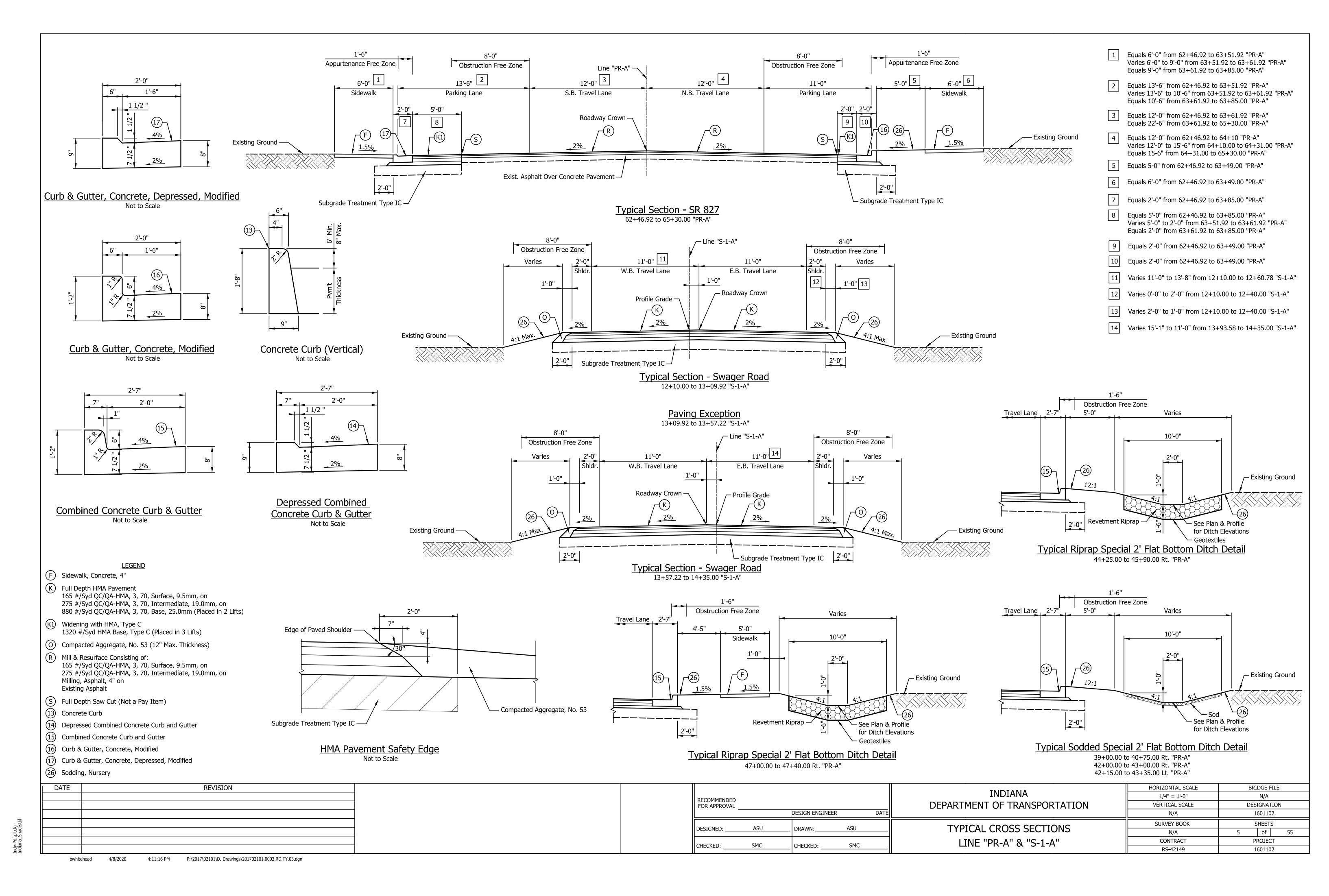
— Existing Ground

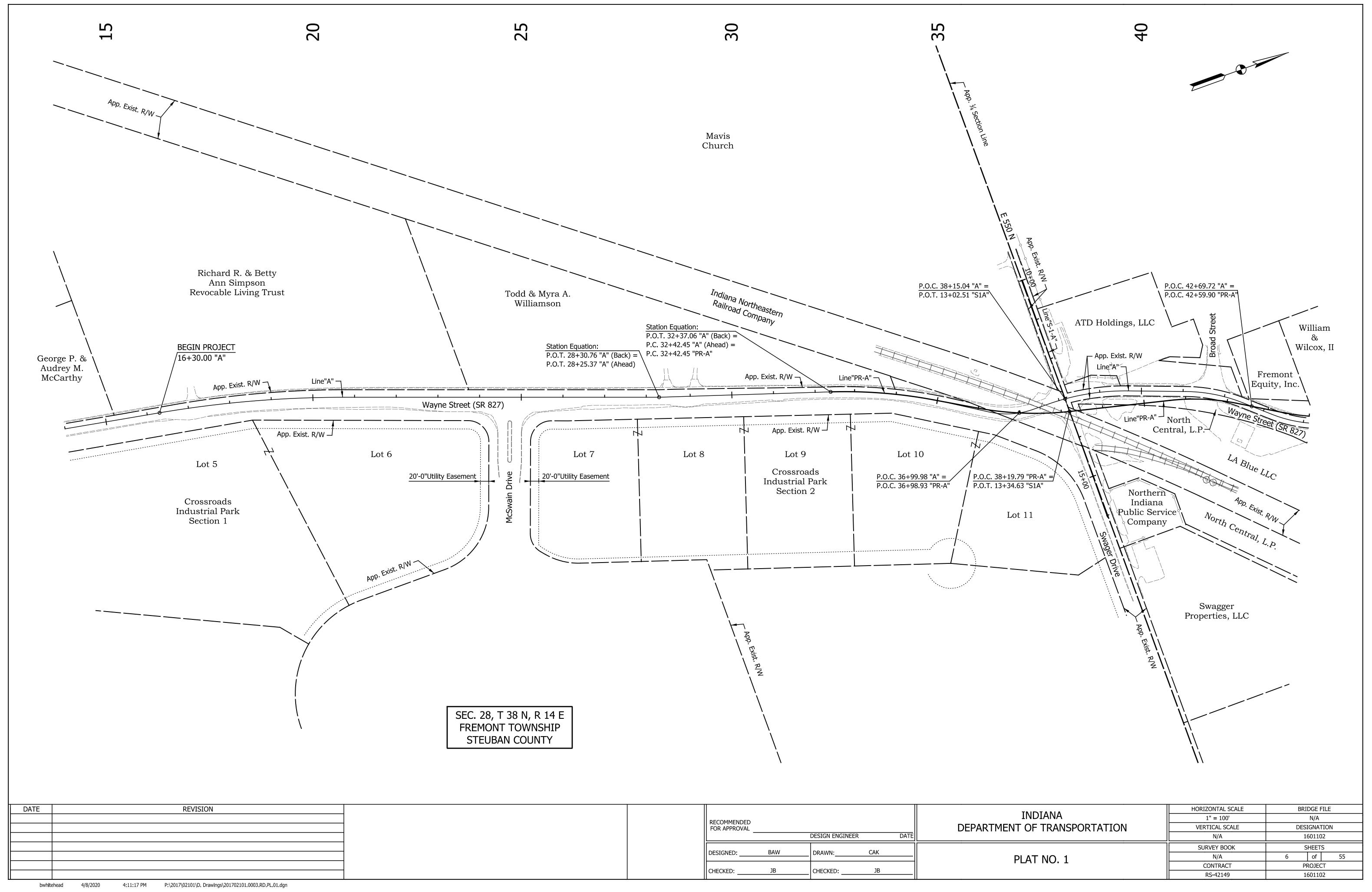
9

Equals 12'-0" from 42+21.42 to 46+75.00 "PR-A" Varies 12'-0" to 11'-0" from 46+25.00 to 46+75.00 "PR-A" Equals 11'-0" from 46+75.00 to 49+90.00 "PR-A"

	HORIZONTAL SCALE	BRIDGE FILE		
INDIANA	1/4" = 1'-0"	N/A		
DEPARTMENT OF TRANSPORTATION	VERTICAL SCALE	DESIGNATION		N
	N/A	1601102		
	SURVEY BOOK	SHEETS		
TYPICAL CROSS SECTIONS	N/A	3	of	55
LINE "A" & "PR-A"	CONTRACT	PROJECT		
LINE A & FR-A	RS-42149	1601102		

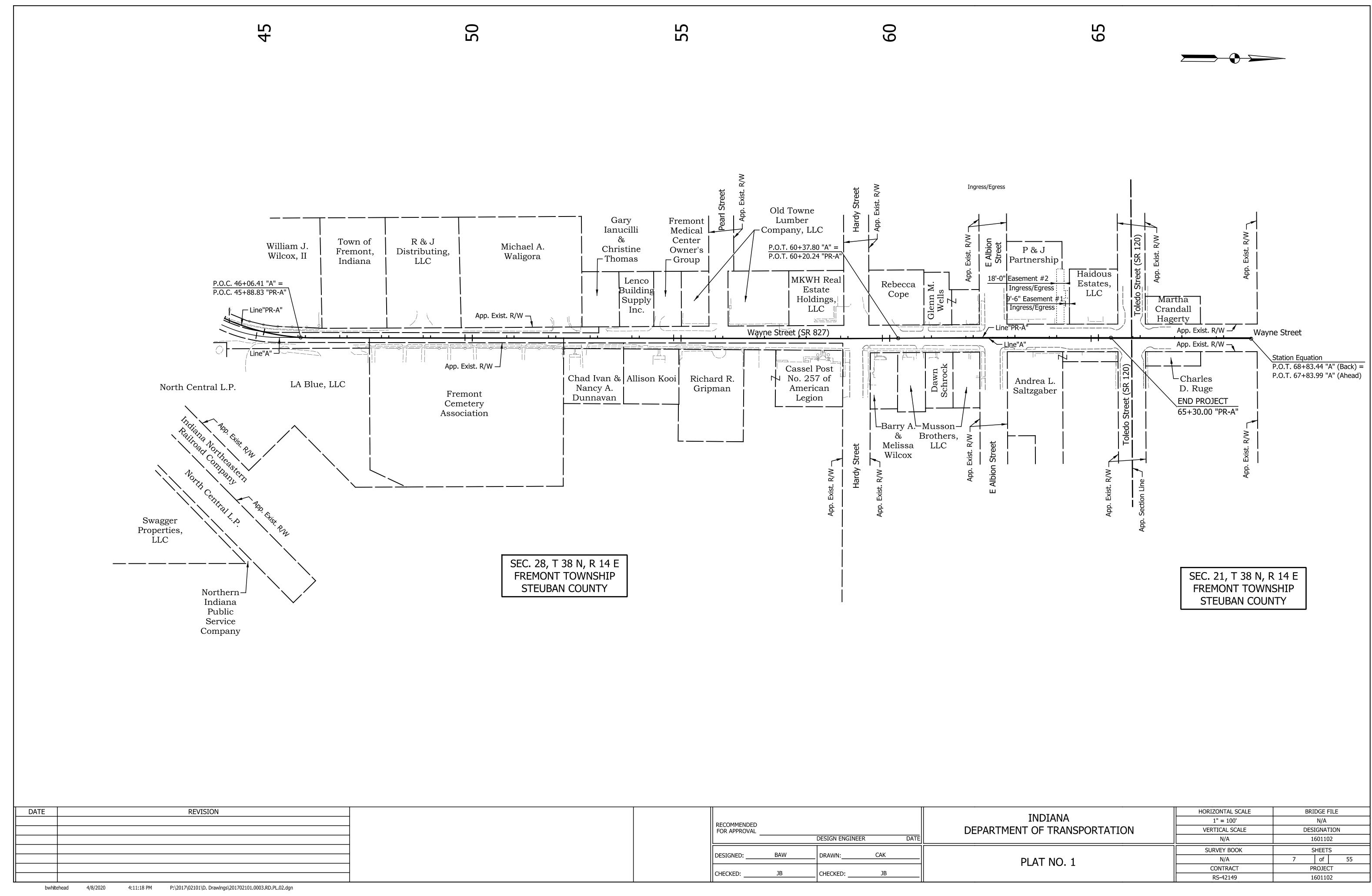






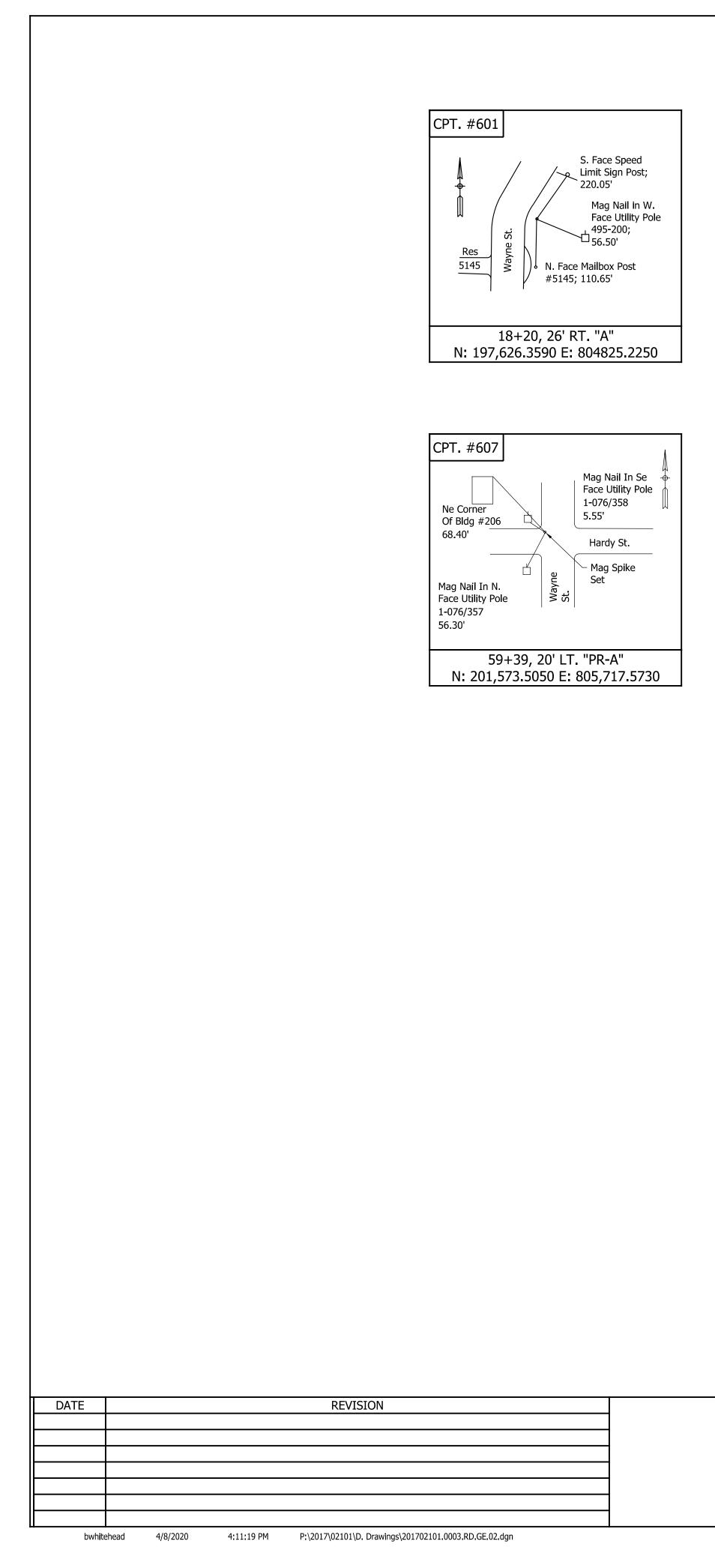
Indy-Pdf pltcfg Indiana_Shade f

	RECOMMENDED FOR APPROVAL		DESIGN ENGINEER	DAT	Ē
	DESIGNED:	BAW	_ DRAWN:	САК	
	CHECKED:	JB	CHECKED:	JB	_

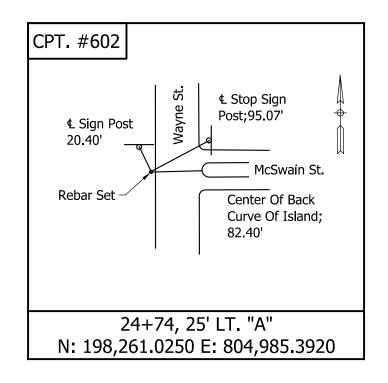


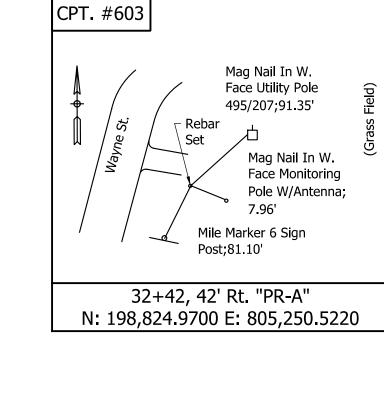
Indy-Pdf pltcfg Indiana_Shade i

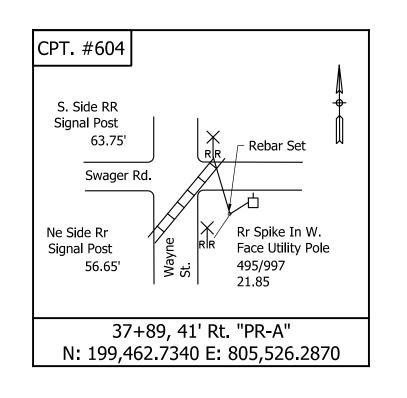
	RECOMMENDED FOR APPROVAL		DESIGN ENGINEER	DAT	TE	
	DESIGNED:	BAW	DRAWN:	САК		
	CHECKED:	JB	CHECKED:	JB		

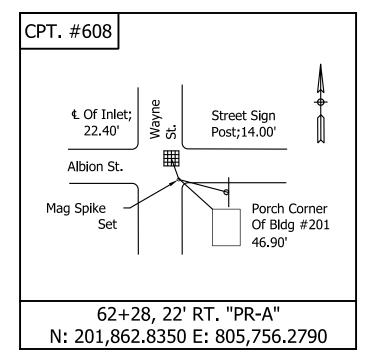


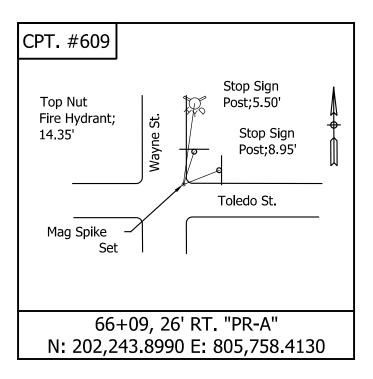
Indy-Pdf.pltcfg Indiana_Shade.tbl

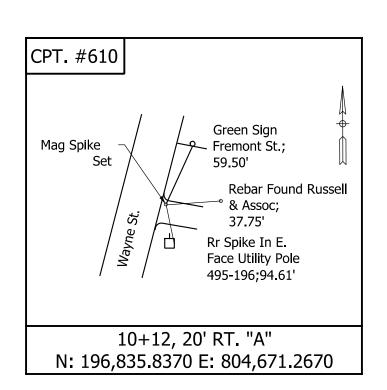




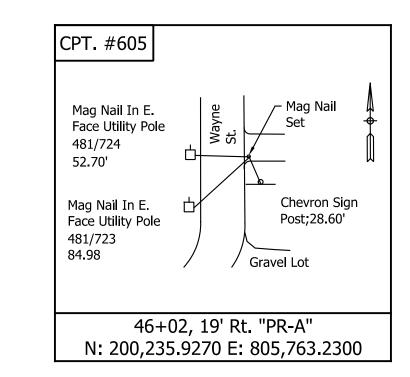


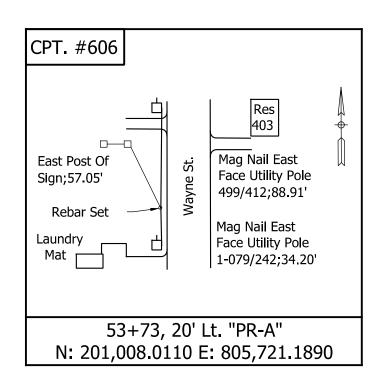


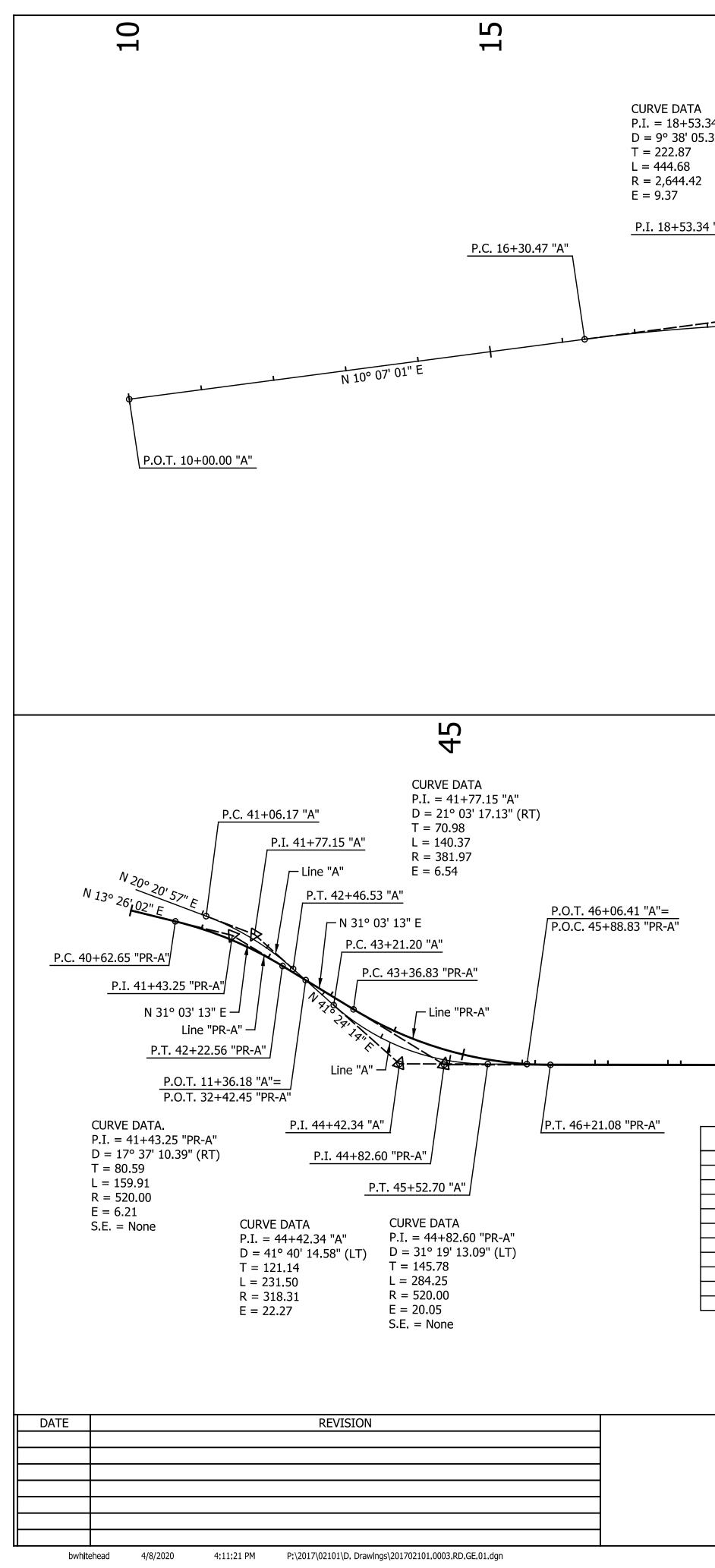




				HORIZONTAL SCALE	BRIDGE FILE
RECOMMENDED FOR APPROVAL			INDIANA DEPARTMENT OF TRANSPORTATION	N/A	
				VERTICAL SCALE	DESIGNATION
	DESIGN ENGINEER DATE			N/A	
	DESIGNED: BAW DRAWN: CAI		REFERENCE POINT TIE-UPS	SURVEY BOOK	SHEETS
		DRAWN: CAR			8 of 55
	CHECKED: JB	CHECKED: JB		CONTRACT	PROJECT
				RS-42149	1601102



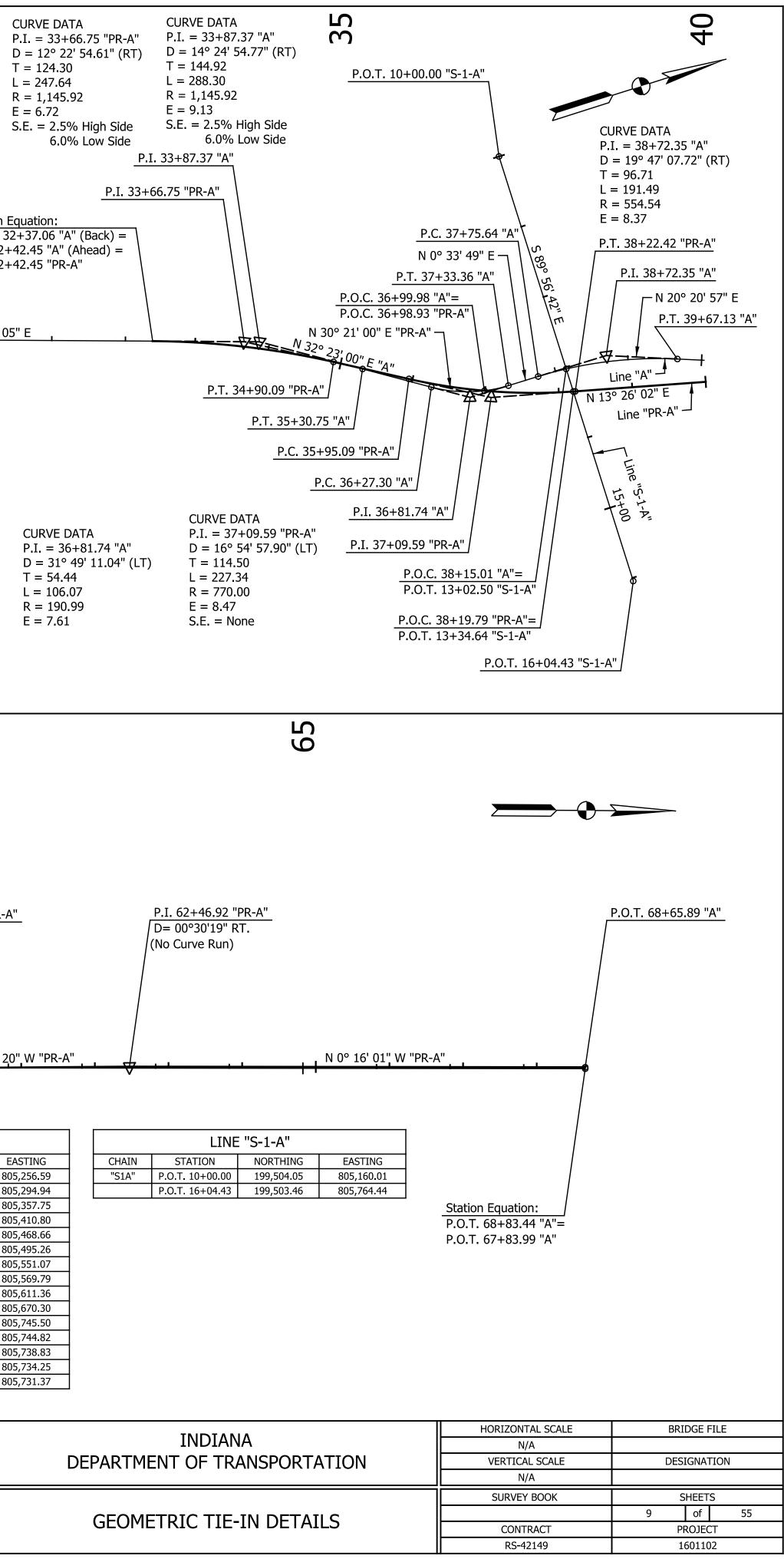


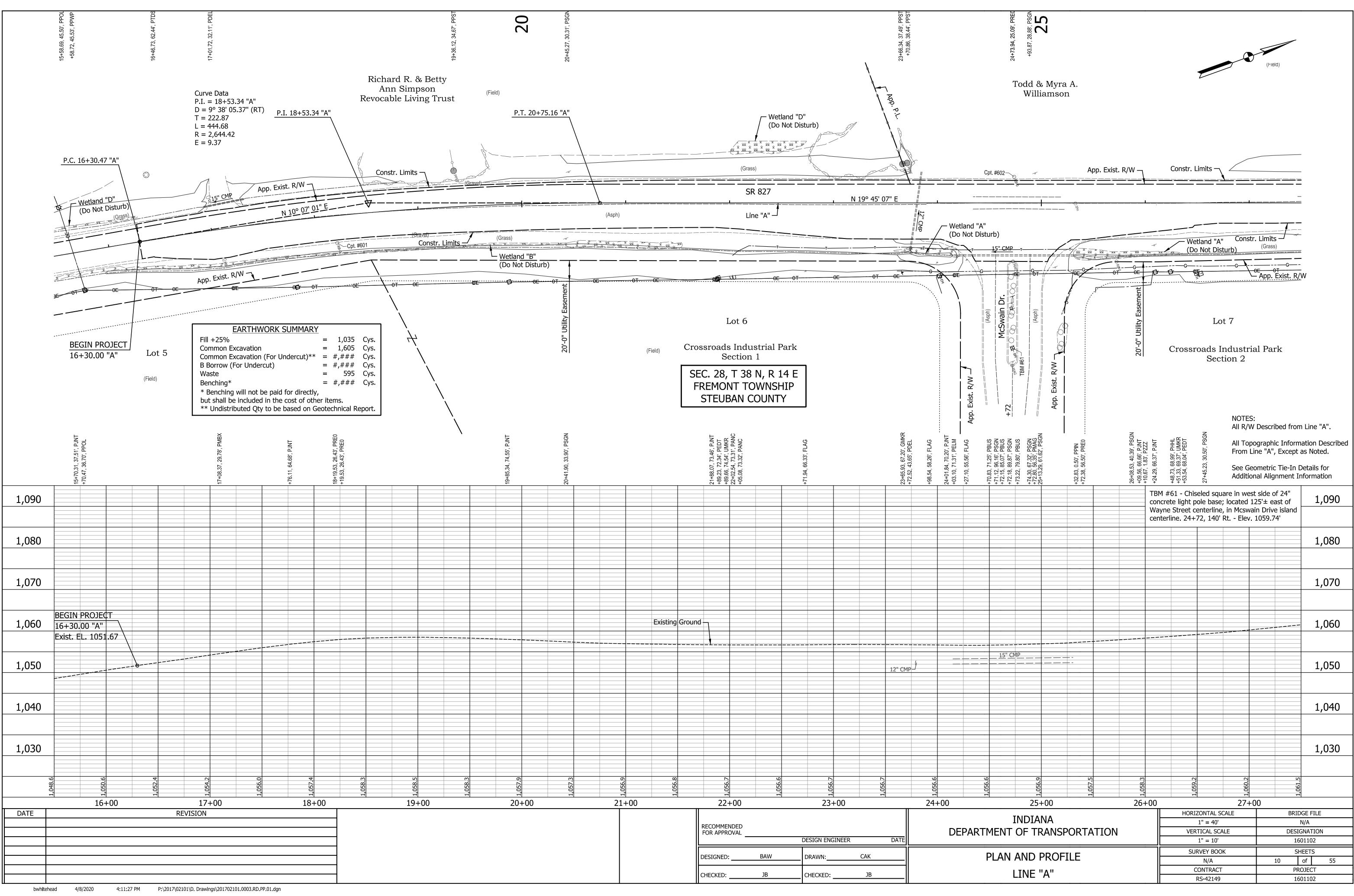


Pdf pltcfg

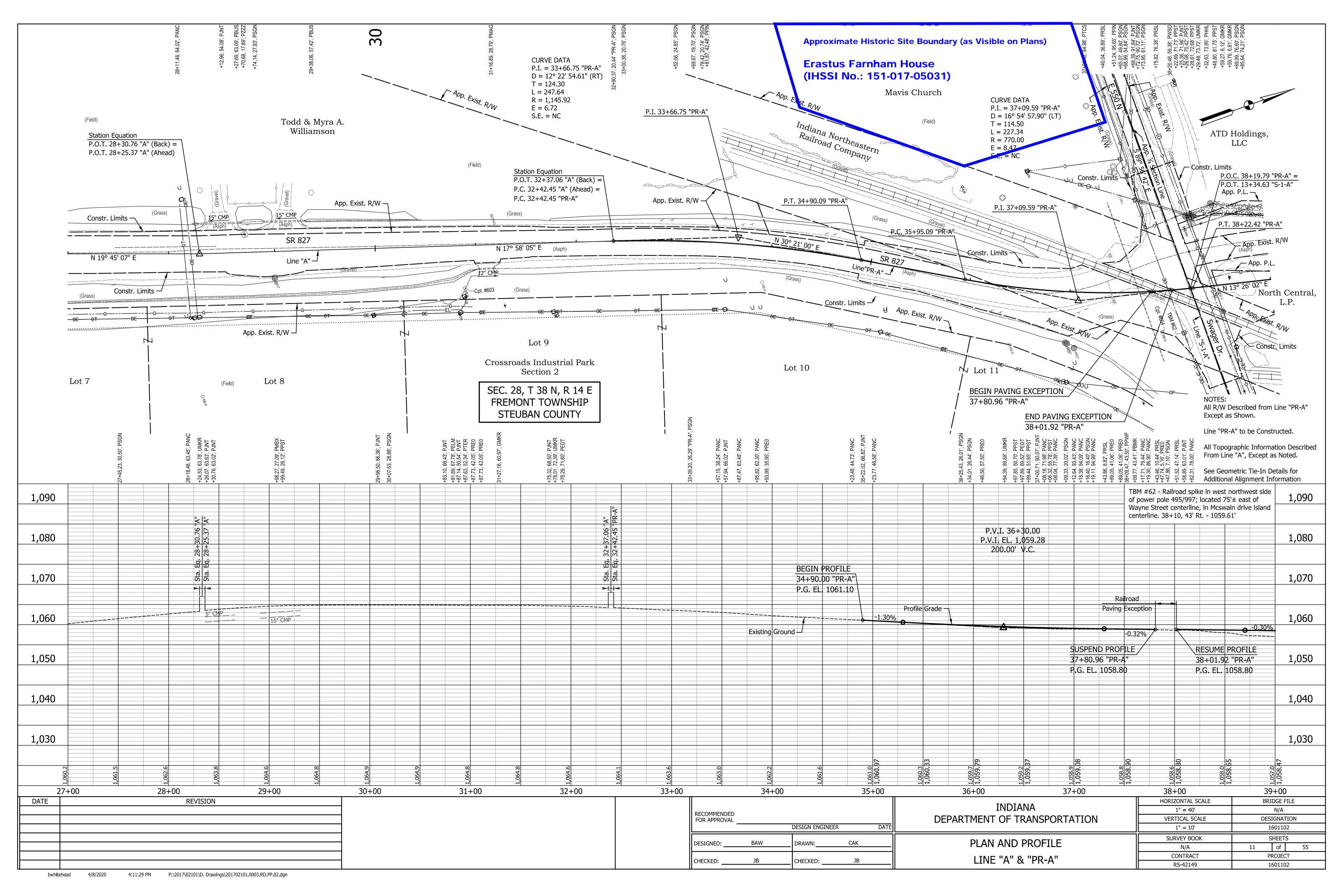
Indy

A 3.34 "A" 5.37" (RT) 2		25				C	C P D T L R E S
<u>34 "A" P.T. 20+75.16 "A" </u>		e "A'	<u>Station Equati</u> P.O.T. 28+30 P.O.T. 28+25	.76 "A" (Bac	k) = ead)	P.C P.C	<u>ition Eq</u>).T. 32- 2. 32+4 2. 32+4 <u>58' 05''</u>
20		55				60	
	N 0° 16' 01" W "PR-A"	-•••	N 0° 16' Q1".W	" <u>A</u> "	Γ	P.I. 59+06.91 D= 00°30'19" No Curve Run) No Curve Run)	LT.)
				r			
LINE "A" CHAIN STATION NORTHING	EASTING	LINE "A" P.C. 37+75.64 199,464.4	3 805,460.73	CHAIN	LINE	"PR-A"	EAS
"A" P.O.T. 10+00.00 196,827.40 P.C. 16+30.47 197,448.07	804,649.02 804,759.77	P.I. 38+72.35199,561.1P.T. 39+67.13199,651.8	3 805,461.68	"PRA"	P.C. 32+42.45 P.I. 33+66.75	198,979.99 199,098.23	805, 805,
P.I. 18+53.34 197,667.47 P.T. 20+75.16 197,877.23	804,798.92 804,874.24	P.C. 41+06.17199,782.1P.I. 41+77.15199,848.7	2 805,568.34		P.T. 34+90.09 P.C. 35+95.09	199,205.49 199,296.10	805, 805,
P.C. 32+42.45 198,979.99 P.I. 33+87.37 199,117.84	805,256.59 805,301.30	P.T. 42+46.53 199,901.9 P.C. 43+21.20 199,957.9			P.I. 37+09.59 P.T. 38+22.42	199,394.91 199,506.28	805, 805,
P.T. 35+30.75199,240.22P.C. 36+27.30199,321.75	805,378.91 805,430.62	P.I. 44+42.34 200,048.8 P.T. 45+52.70 200,169.9	3 805,744.79		P.C. 40+62.65 P.I. 41+43.25	199,739.94 199,818.33	805, 805,
P.I. 36+81.74 199,367.72	805,459.78	P.O.T. 67+83.99 202,500.6			P.T. 42+22.56	199,887.37	805,
P.T. 37+33.36 199,422.16	805,460.31				P.C. 43+36.83 P.I. 44+82.60	199,985.25 200,110.14	805, 805,
					P.T. 46+21.08 P.T. 59+06.91	200,255.90 201,541.72	805, 805,
					P.T. 62+46.92 P.T. 68+65.89	201,881.70 202,500.67	805, 805,
							-11
			FOR APPROVAL		DESIGN ENGINEER	DAT	<u> </u>
			DESIGNED: BA	W	DRAWN:	САК	
			CHECKED: JE	}	CHECKED:	JB	_

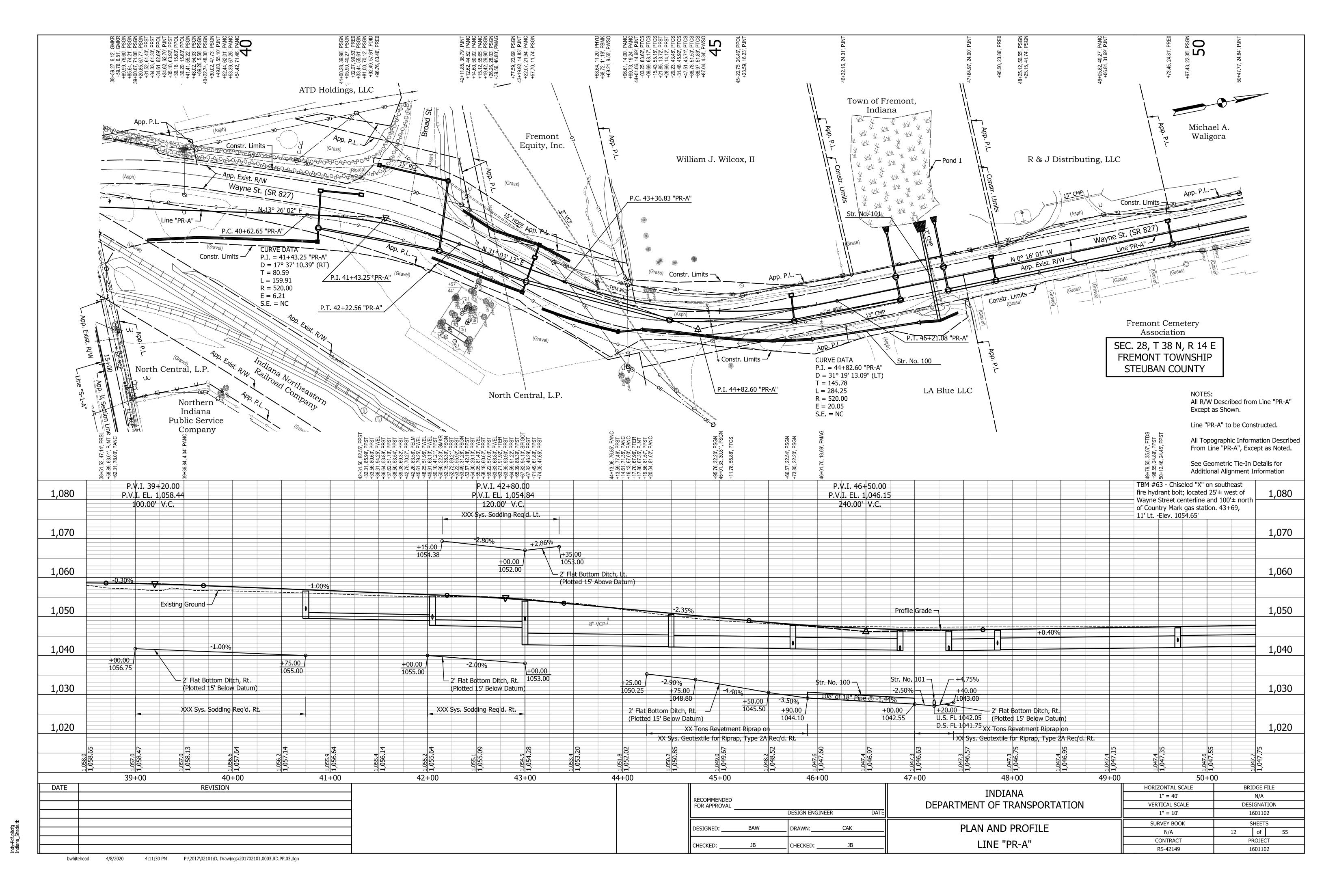


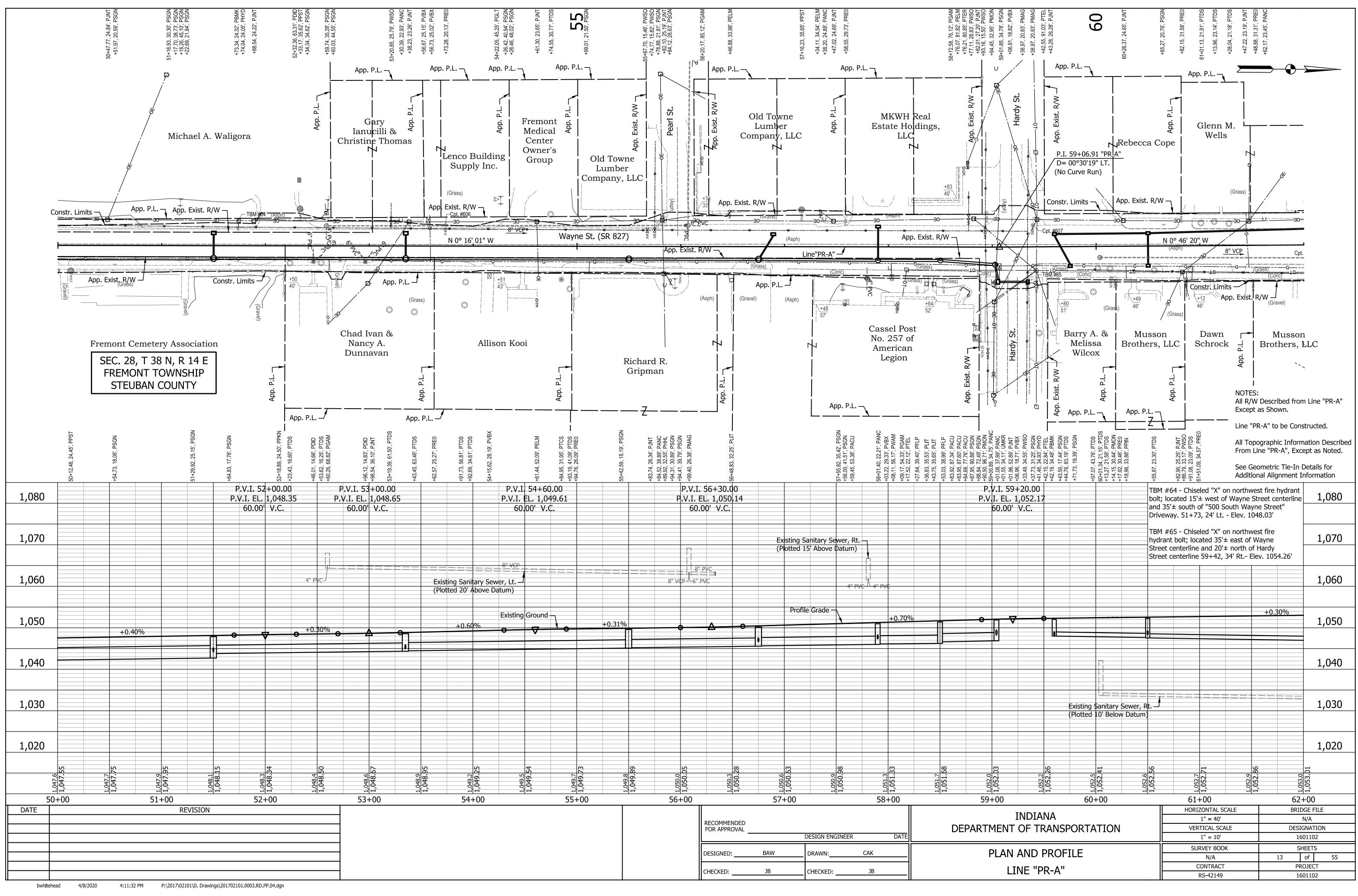


^c pltcfg Shade

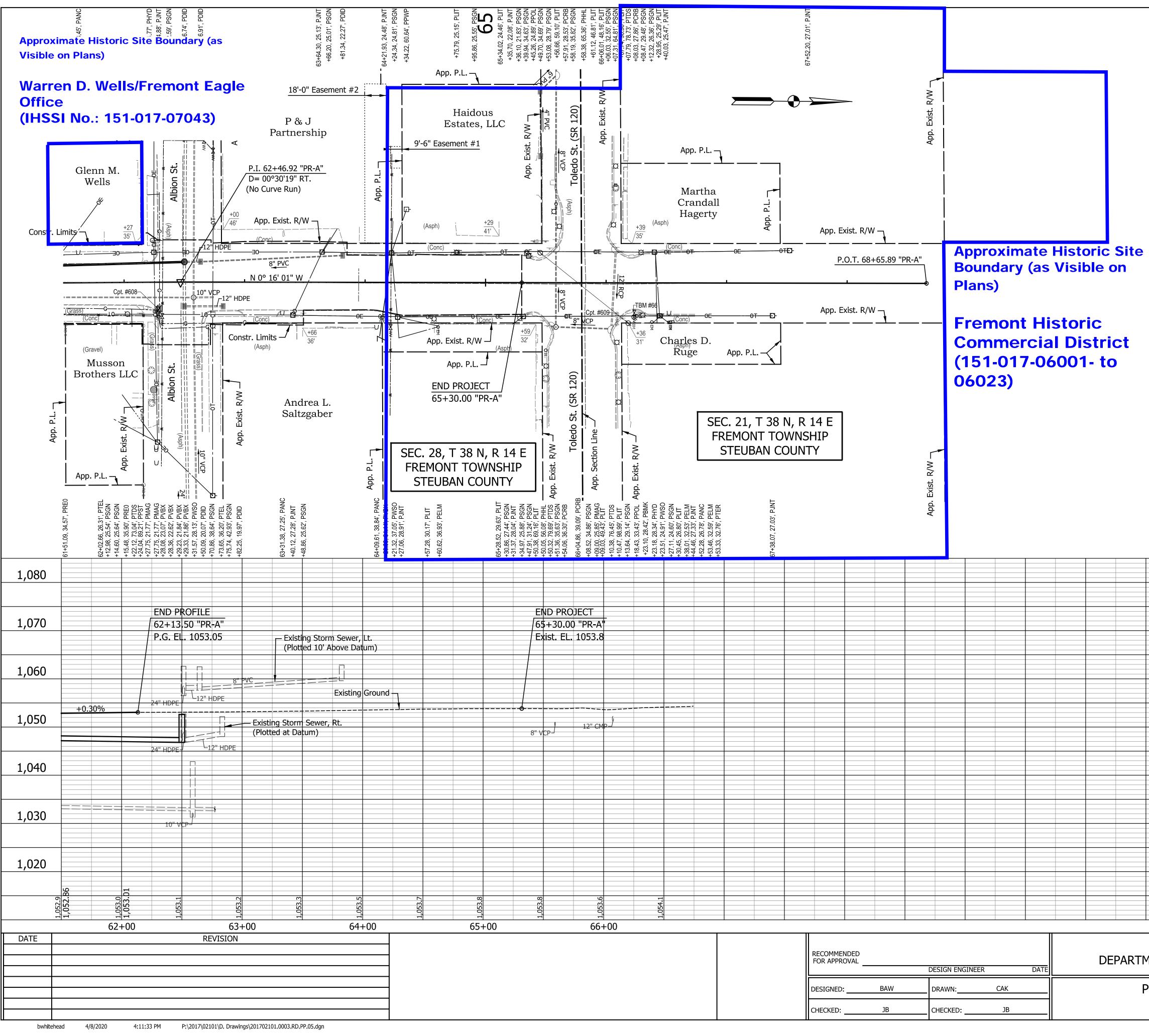


Indy-Pdf.pltcfg Indiana_Shade.tbl





Indy-Pdf.pltcfg Indiana_Shade.tbl



pltcfg Shade Pdf. Indy

NOTES: All R/W Described from Line "PR-A" Except as Shown.

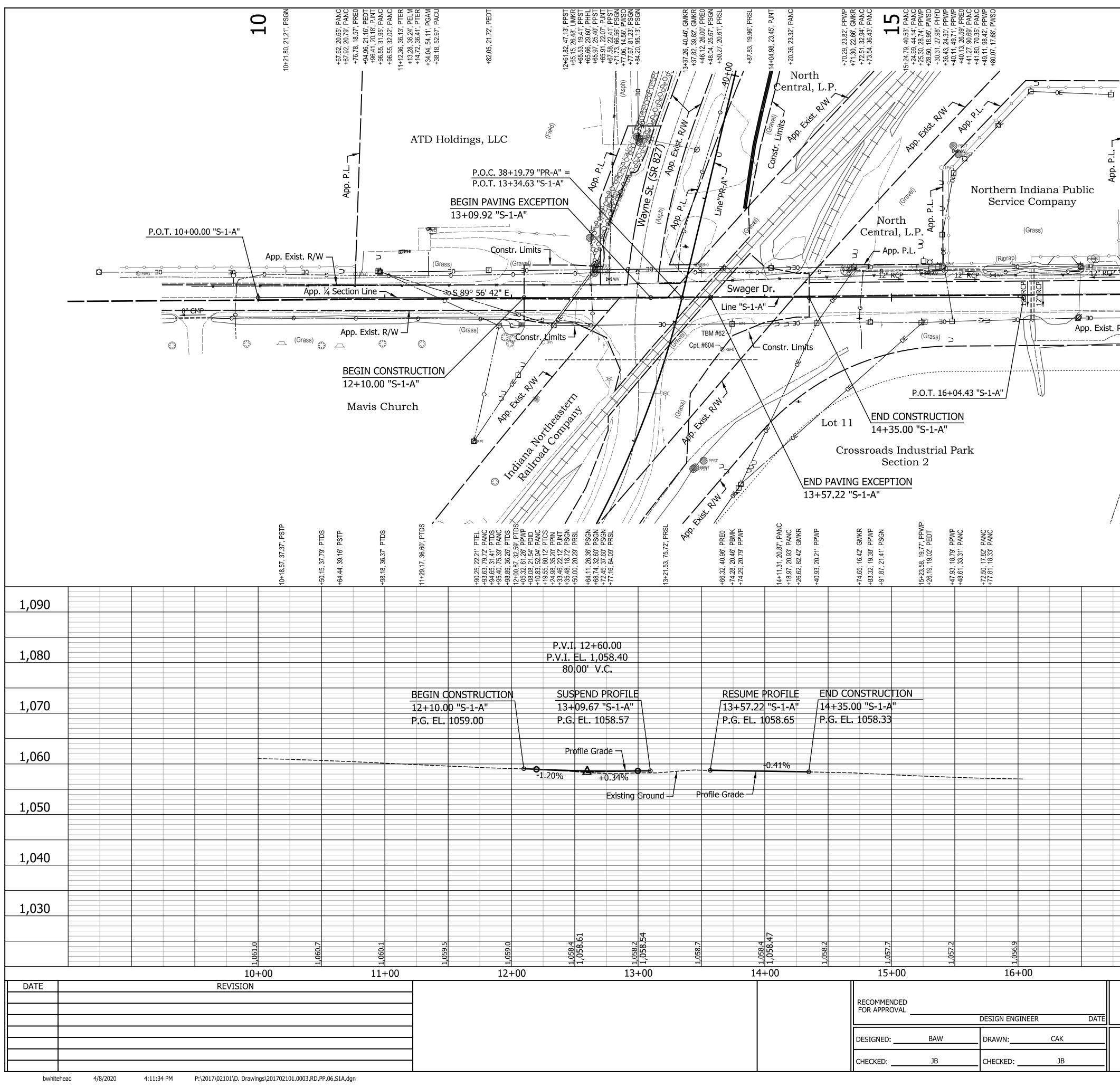
Line "PR-A" to be Constructed.

All Topographic Information Described From Line "PR-A", Except as Noted.

See Geometric Tie-In Details for Additional Alignment Information

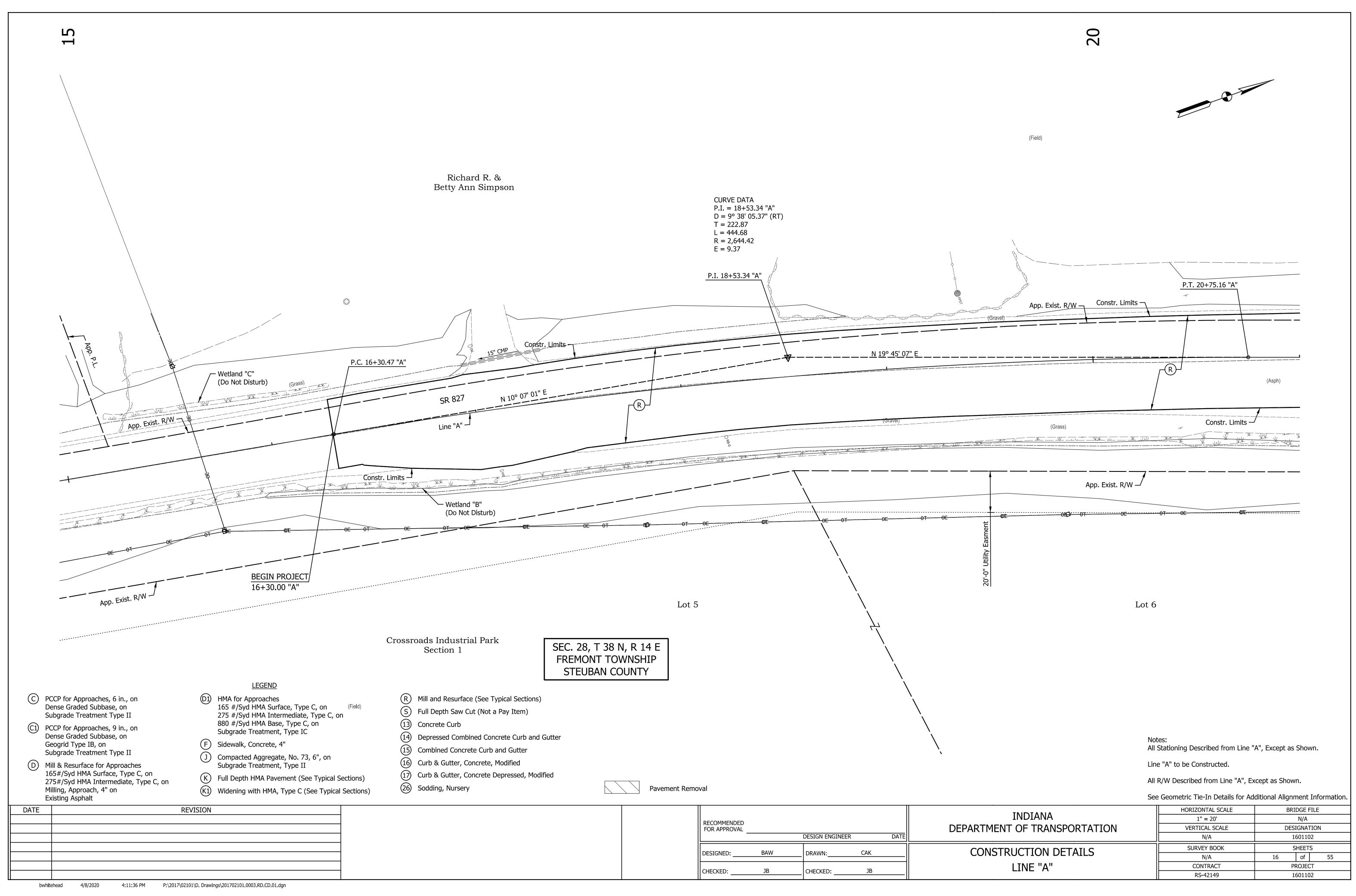
					TBM #66 -Chiseled "X" on southeast fire hydrant bolt; located 25'± east of Wayne Street centerline and 40'± north of Toledo Street centerline.			1,080		
					66+23, 28' Rt Elev. 1056.35'					
										1 070
					 					1,070
										1
	<u> </u>									1,060
										<u> </u>
					 					1,050
										,
										1 0 40
										1,040
										_/ • • •
										1,030
										<u> </u>
					+					
				 	 					1,020
										1,020
		I		I						

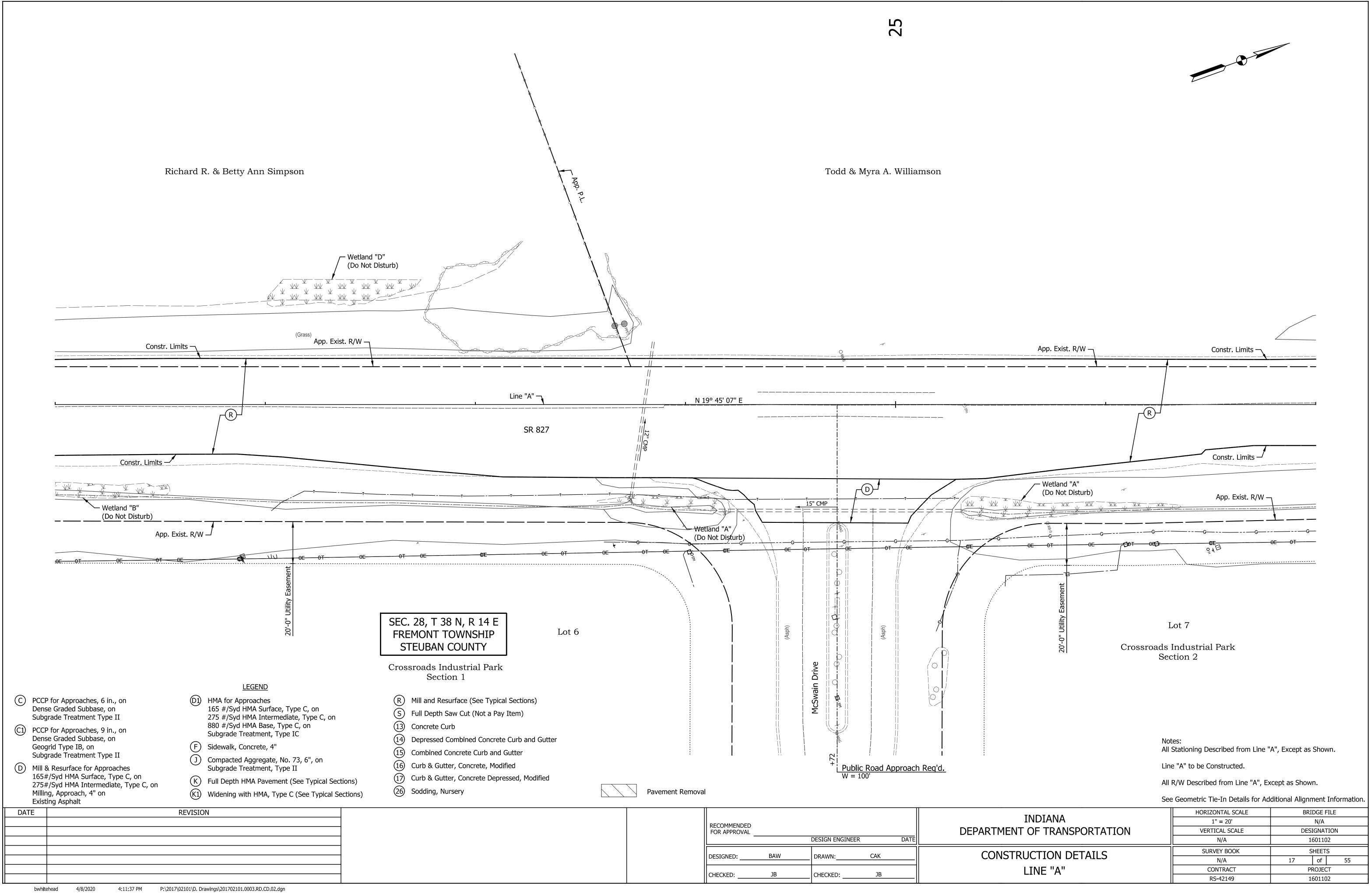
	HORIZONTAL SCALE	BRIDGE FILE N/A DESIGNATION		
INDIANA	1" = 40'			
DEPARTMENT OF TRANSPORTATION	VERTICAL SCALE			
	1" = 10'	1601102		
	SURVEY BOOK	SHEETS		5
PLAN AND PROFILE	N/A	14 of		55
LINE "PR-A"	CONTRACT	PROJECT		
	RS-42149	1601102		2

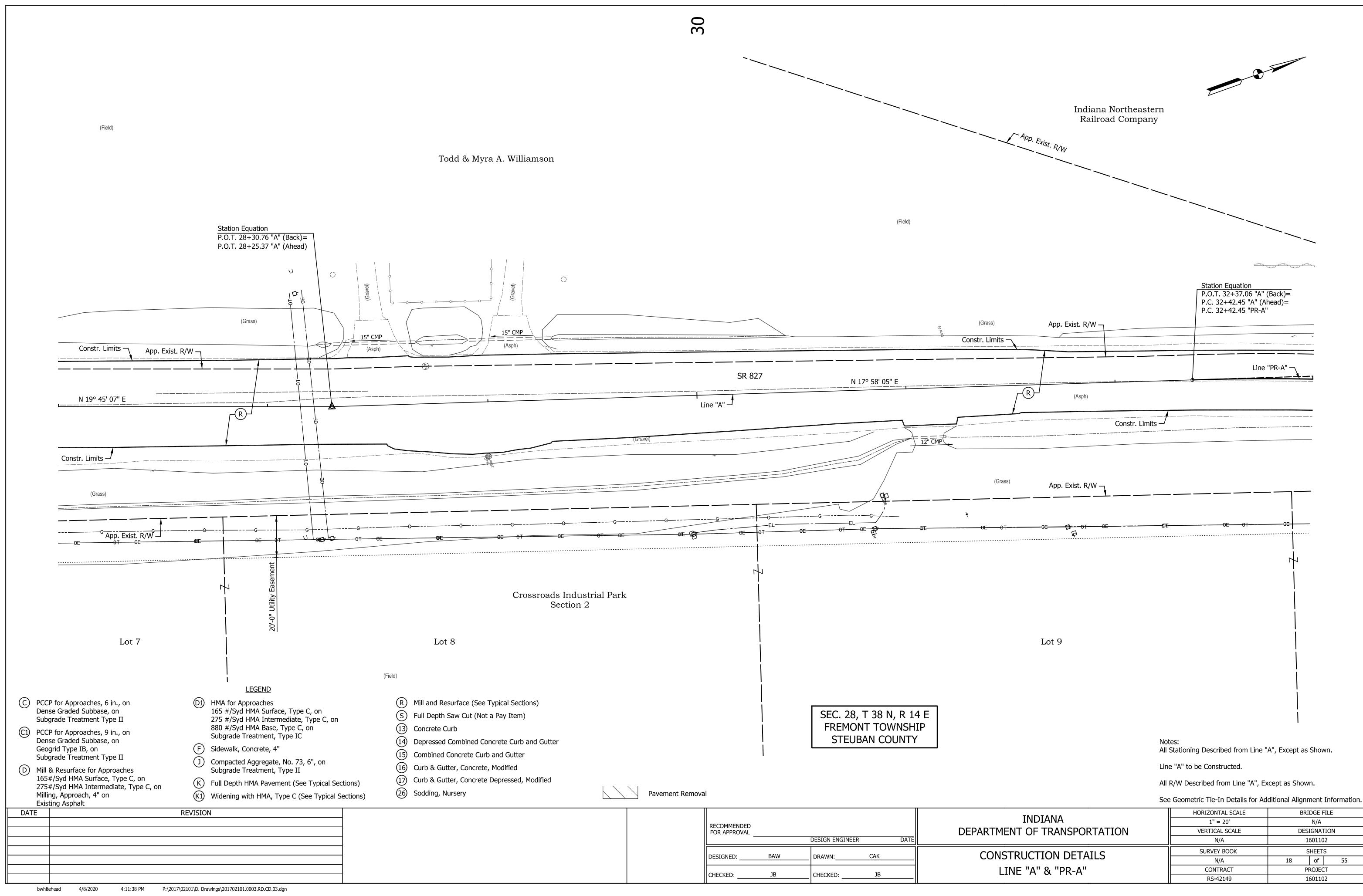


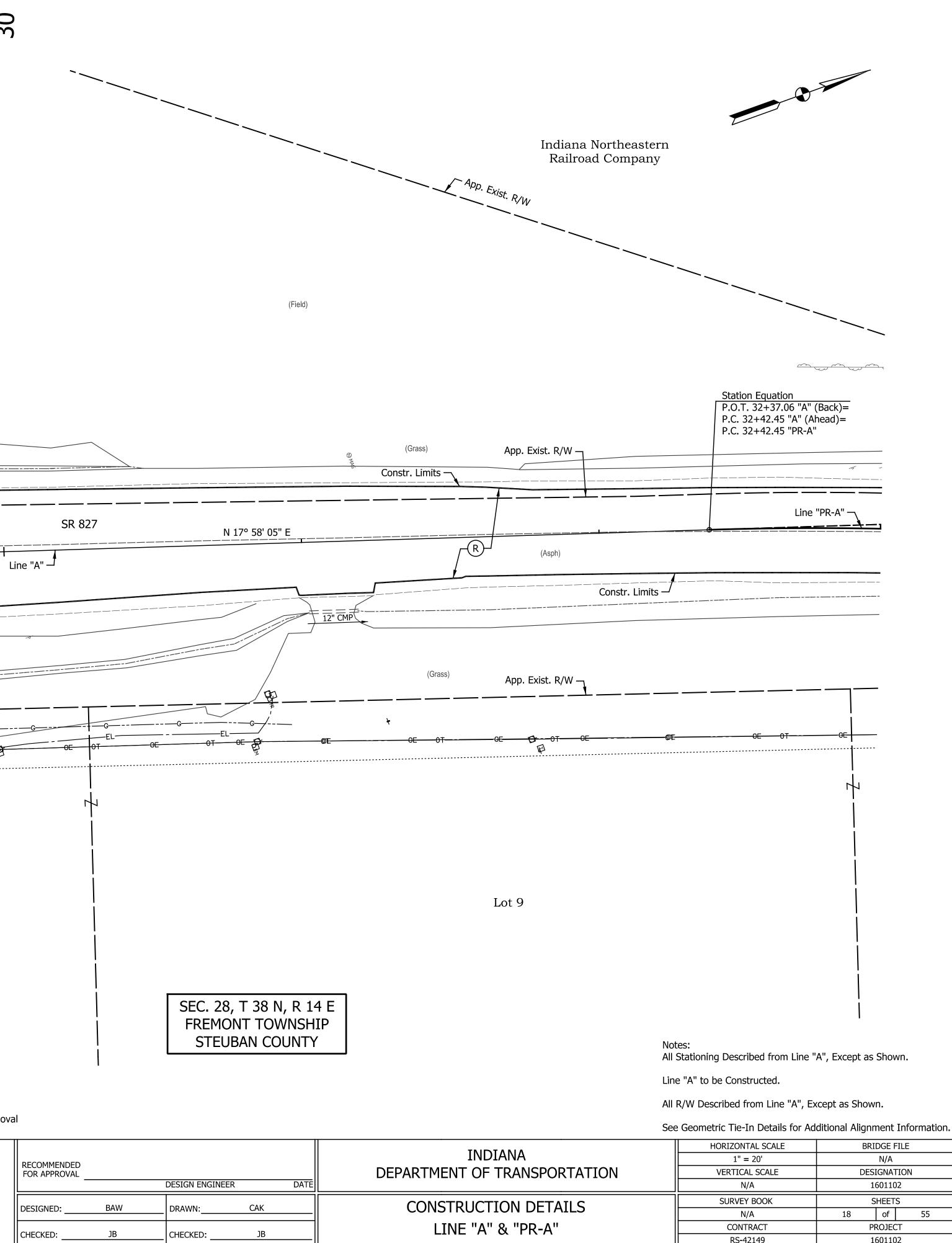
-Pdf pltcfg ana_Shade Indy

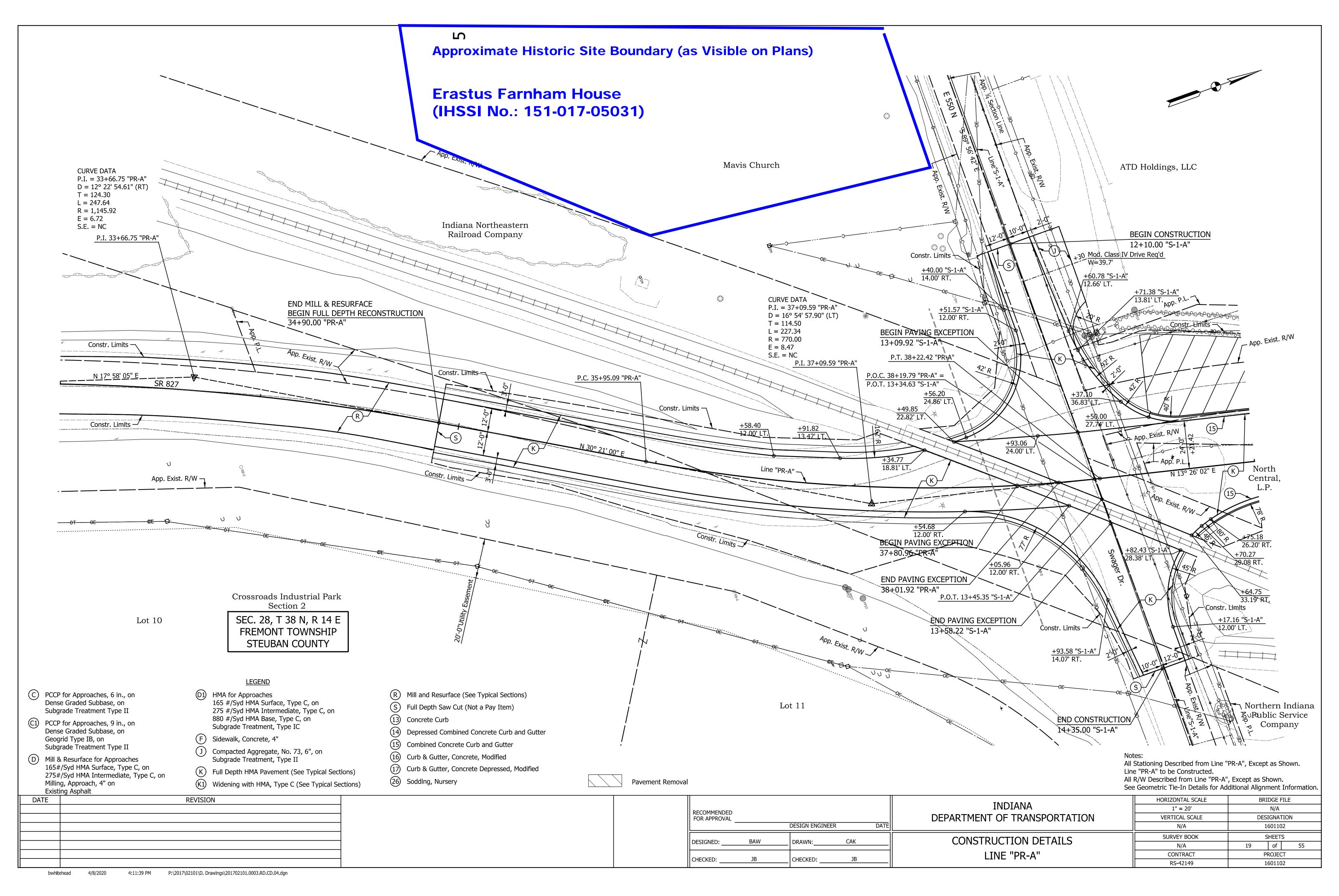
Swa	gger Propert								
		0 							- om Line "S-1-A"
							From Li See Ge	ine "S-1-A", E ometric Tie-Ir	
				of	power pol ayne Stree	e 495/997; et centerline	From Li See Ge Addition ke in west located 75 e, in Mcswa	ine "S-1-A", E ometric Tie-Ir nal Alignment northwest side i'± east of in drive island	xcept as Noted. Details for Information e 1,090
				of	power pol ayne Stree	e 495/997;	From Li See Ge Addition ke in west located 75 e, in Mcswa	ine "S-1-A", E ometric Tie-Ir nal Alignment northwest side i'± east of in drive island	xcept as Noted. Details for Information e 1,090
				of	power pol ayne Stree	e 495/997; et centerline	From Li See Ge Addition ke in west located 75 e, in Mcswa	ine "S-1-A", E ometric Tie-Ir nal Alignment northwest side i'± east of in drive island	xcept as Noted. a Details for Information a 1,090 d
				of	power pol ayne Stree	e 495/997; et centerline	From Li See Ge Addition ke in west located 75 e, in Mcswa	ine "S-1-A", E ometric Tie-Ir nal Alignment northwest side i'± east of in drive island	xcept as Noted. a Details for Information a 1,090 d 1,080
				of	power pol ayne Stree	e 495/997; et centerline	From Li See Ge Addition ke in west located 75 e, in Mcswa	ine "S-1-A", E ometric Tie-Ir nal Alignment northwest side i'± east of in drive island	xcept as Noted. a Details for Information a 1,090 d 1,080 1,070
				of	power pol ayne Stree	e 495/997; et centerline	From Li See Ge Addition ke in west located 75 e, in Mcswa	ine "S-1-A", E ometric Tie-Ir nal Alignment northwest side i'± east of in drive island	xcept as Noted. a Details for Information a 1,090 d 1,080 1,070 1,060
				of	power pol ayne Stree	e 495/997; et centerline	From Li See Ge Addition ke in west located 75 e, in Mcswa	ine "S-1-A", E ometric Tie-Ir nal Alignment northwest side i'± east of in drive island	xcept as Noted.

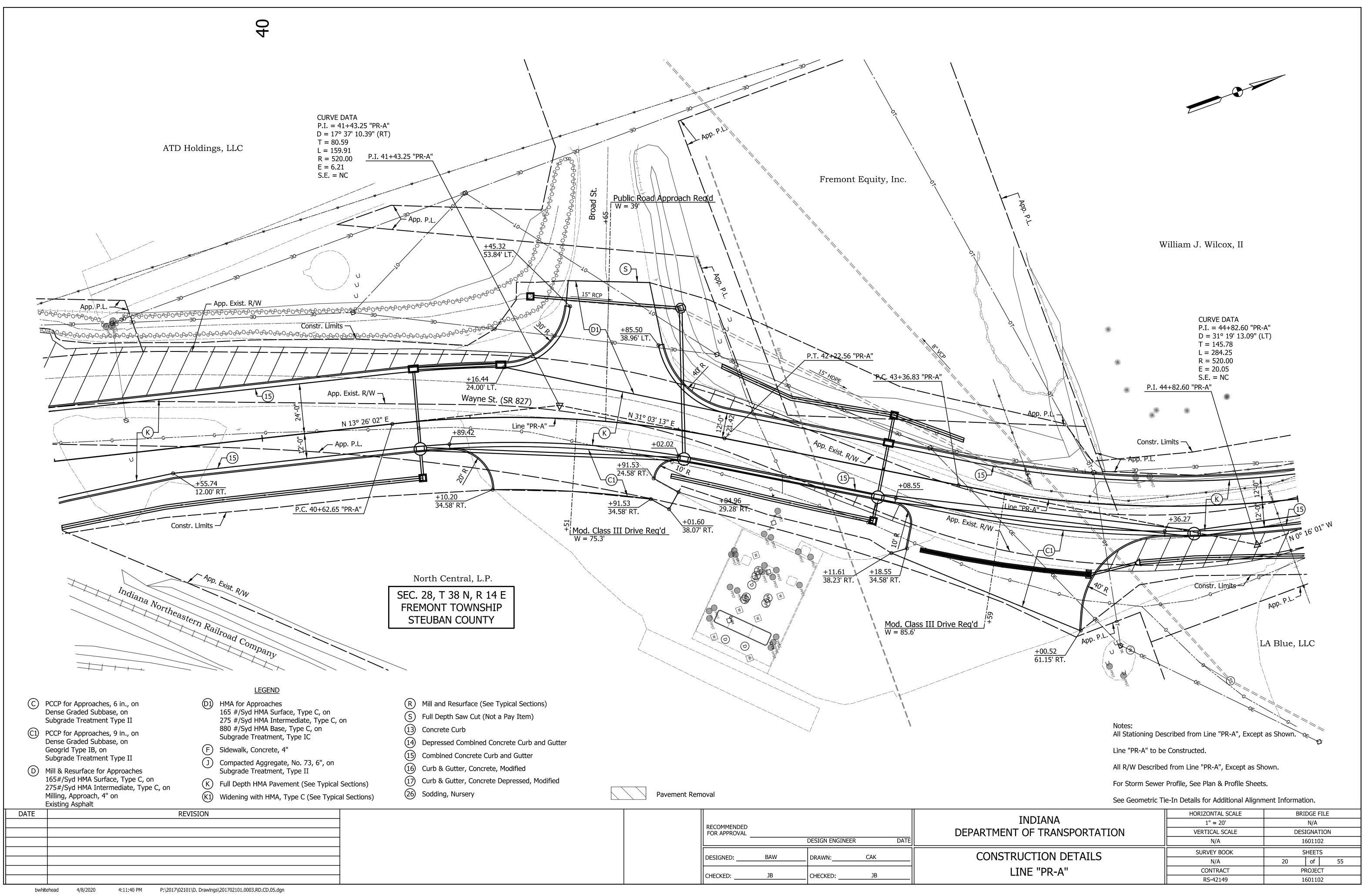




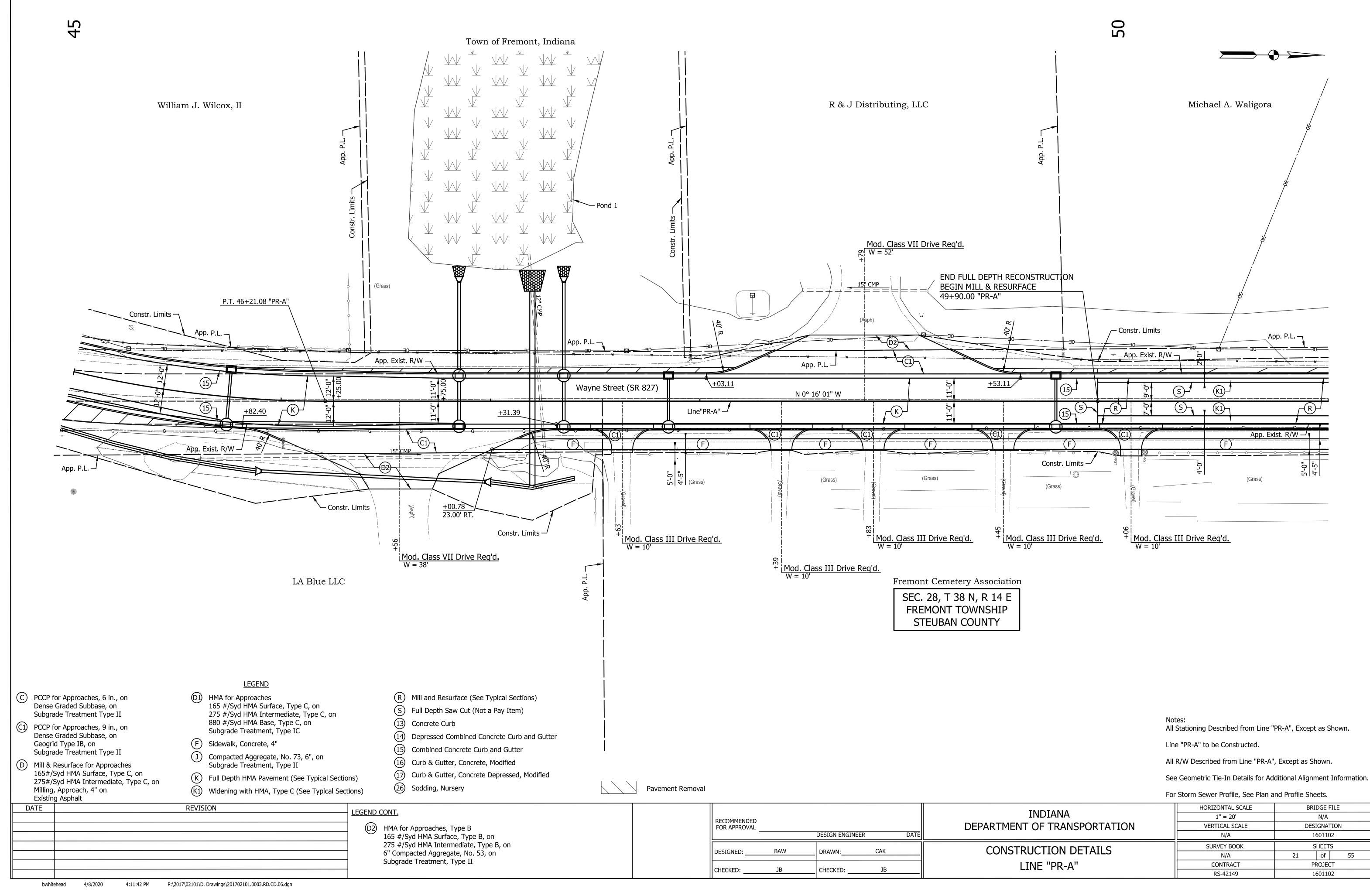




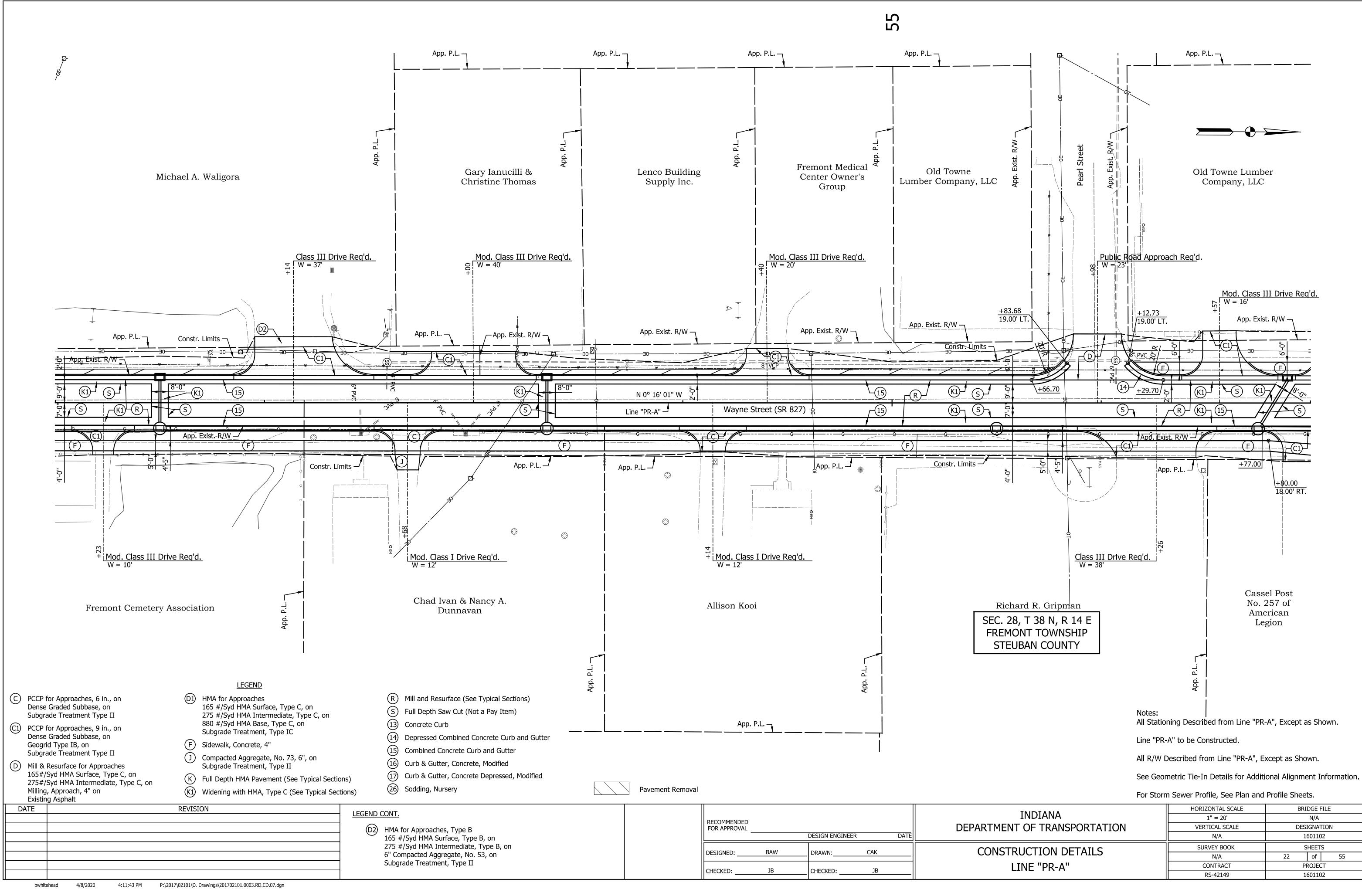




pltcfg

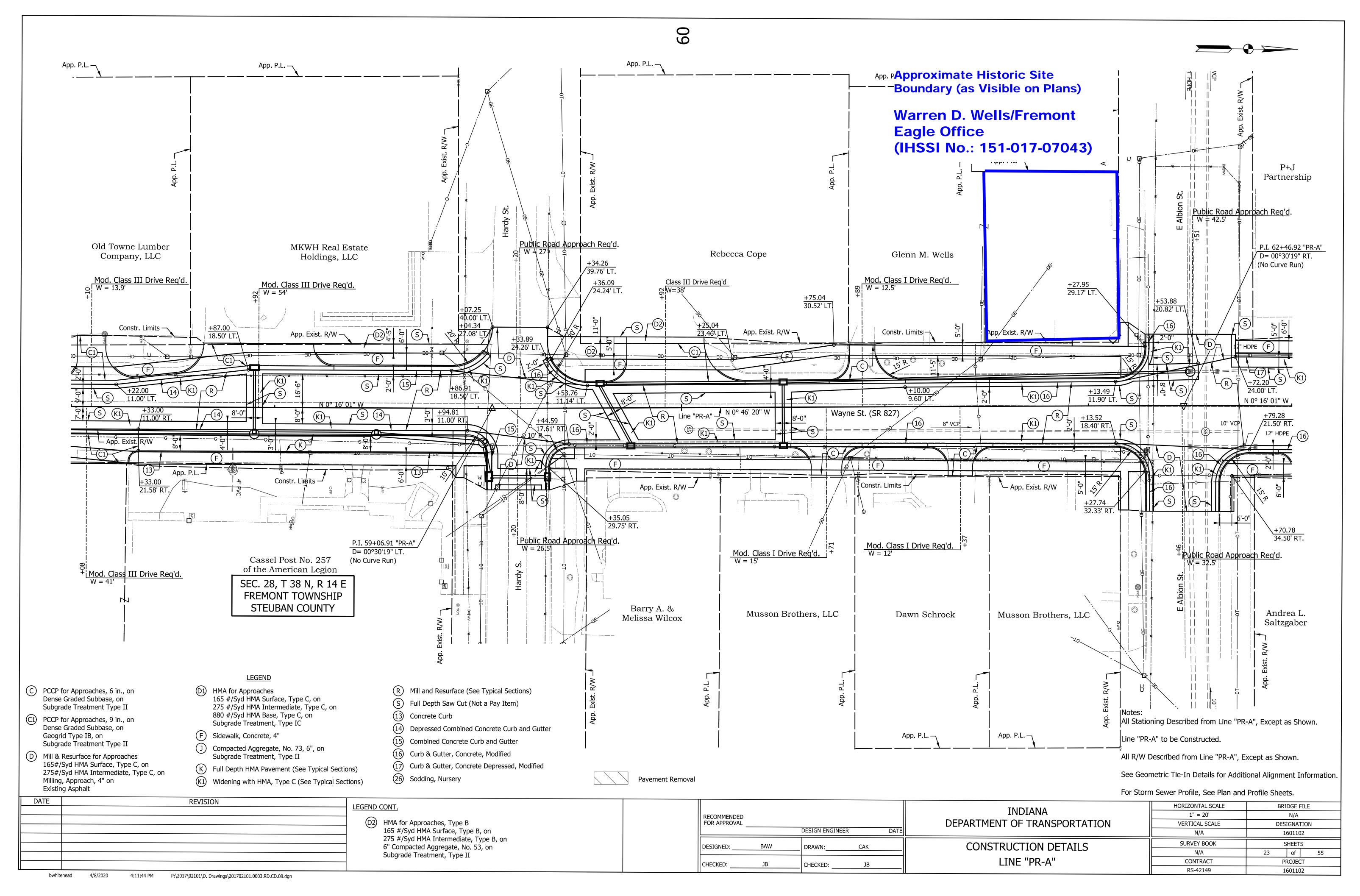


pa	cted	Aggree	jate,	NC
de	Trea	atment,	Typ	e II

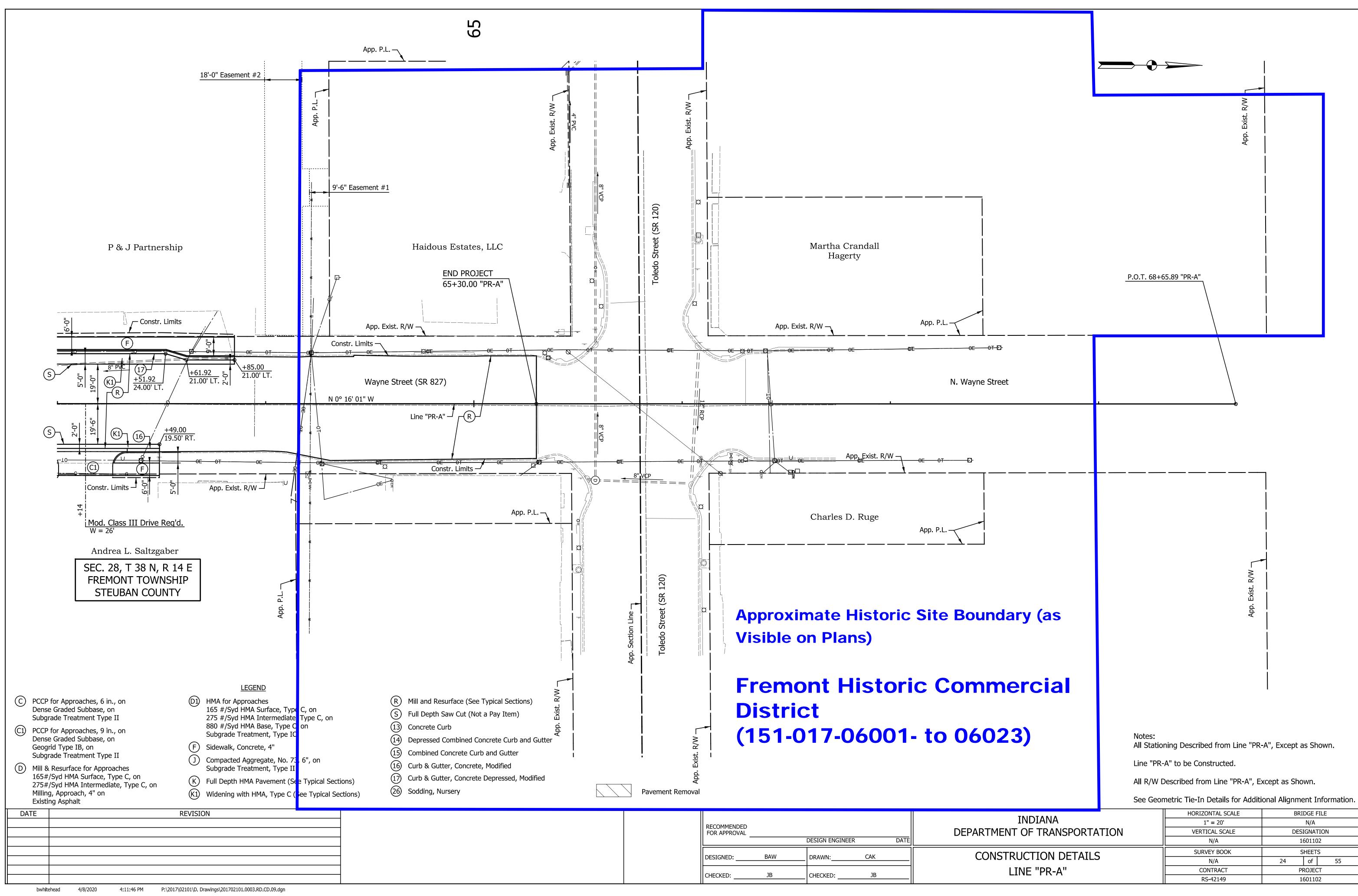


for Approaches, Type B #/Syd HMA Surface, Type B, on				DESIGN ENGINEER		DATE
//Syd HMA Intermediate, Type B, on mpacted Aggregate, No. 53, on		DESIGNED:	BAW	DRAWN:	CAK	
rade Treatment, Type II		CHECKED:	JB	CHECKED:	JB	

Appendix D Page D-116



Indy-Pdf.pltcfg Indiana_Shade.tbl



pltcfg



Pokégnek Bodéwadmik pokagon band of potawatomi language & culture

10/30/20

INDot Shaun Miller <u>smiller@indot.in.gov</u> Michelle Allen <u>Michelle.allen@dot.gov</u>

Des. No.: 1601102

Dear Shaun & Michelle,

My name is Marcus Winchester and I am the Language and Culture Department Director for the Pokagon Band of Potawatomi Indians. For the time being, my position is responsible for handling Section 106 consultation on behalf of the tribe. I am writing to inform you that after reviewing the **Des. No.:** 1601102 details, we determined that we are unaware of any historical, religious, or culturally significant resources to the Pokagon Band of Potawatomi Indians in the vicinity of the project area. However, if any archaeological resources are uncovered during this undertaking, please contact me immediately. Should you have any other questions, please don't hesitate to contact me at your earliest convenience.

Sincerely,

which

Marcus Winchester Director, Language & Culture Pokagon Band of Potawatomi Indians Office: (269) 462-4224 Cell: (269) 783-9269 marcus.winchester@pokagonband-nsn.gov

59291 Indian Lake Road • PO Box 180 • Dowagiac, MI 49047 • www.PokagonBand-nsn.gov (269) 462-4325 • (800) 517-0777 toll free • (269) 783-2499 fax

Appendix D Page D-119 Division of Historic Preservation & Archaeology · 402 W. Washington Street, W274 · Indianapolis, IN 46204-2739 Phone 317-232-1646 · Fax 317-232-0693 · dhpa@dnr.IN.gov · www.IN.gov/dnr/historic



November 24, 2020

Leah Perry Environmental Specialist American Structurepoint 9025 River Road, Suite 200 Indianapolis, Indiana 46240

> Federal Agency: Indiana Department of Transportation ("INDOT"), on behalf of Federal Highway Administration, Indiana Division ("FHWA")

Re: Indiana Department of Transportation's finding of "no adverse effect" on behalf of the Federal Highway Administration for the SR 827 Roadway Improvement Project in the Town of Fremont, Steuben County, Indiana (Des. No. 1601102; DHPA No. 24113)

Dear Ms. Perry:

Pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended (54 U.S.C. § 306108), 36 C.F.R. Part 800, and the "Programmatic Agreement (PA) Among the Federal Highway Administration, the Indiana Department of Transportation, the Advisory Council on Historic Preservation and the Indiana State Historic Preservation Officer Regarding the Implementation of the Federal Aid Highway Program In the State of Indiana," the staff of the Indiana State Historic Preservation Officer ("Indiana SHPO" or "DNR-DHPA") has reviewed INDOT's letter dated October 28, 2020, INDOT's finding and the 36 C.F.R. § 800.11(e) documentation all of which was received on October 28 for the above indicated project.

We concur with INDOT's October 28, 2020, Section 106 finding, on behalf of FHWA, that the only historic properties eligible for inclusion in the National Register of Historic Places ("NRHP") within the area of potential effects are the Erastus Farnham House at 205 West Swager Road (IHSSI No.: 151-017-05031), the Fremont Historic Commercial District (IHSSI Nos.:151-017-06000 through 151-017-06023), and the Warren D. Wells House/*Fremont Eagle* Office at 200 South Wayne Street (IHSSI No.: 151-017-07043).

We also concur with INDOT's October 28, 2020, Section 106 finding, on behalf of FHWA, of "No Adverse Effect" for the Erastus Farnham House, the Fremont Historic Commercial District, and the Warren D. Wells House/*Fremont Eagle* Office for the SR 827 Roadway Improvement Project in the Town of Fremont, Stueben County, Indiana.

Accordingly, we concur with INDOT's October 28, 2020, Section 106 finding, on behalf of FHWA of "No Adverse Effect" for the SR 827 Roadway Improvement Project as a whole.

As previously noted, the project area is adjacent to the Old Fremont cemetery (CR-76-6, IHSSI 151-017-07049). Please be aware of the cemetery development plan requirements in Indiana Code 14-21-1-26.5 for ground disturbance within 100 feet of a cemetery.

If any prehistoric or historic archaeological artifacts or human remains are uncovered during construction, demolition, or earthmoving activities, state law (Indiana Code 14-21-1-27 and -29) requires that the discovery be reported to DNR-DHPA within two (2) business days. In that event, please call (317) 232-1646. Be advised that adherence to Indiana Code 14-21-1-27 and -29 does not obviate the need to adhere to applicable federal statutes and regulations, including but not limited to 36 C.F.R. Part 800.

The Indiana SHPO staff archaeological reviewer for this project is Beth K. McCord. Please note the structures reviewer is now Chad Slider. However, if you have a question about the Section 106 process, please contact initially the INDOT Cultural Resources staff members who are assigned to this project.

In all future correspondence regarding the SR 827 Roadway Improvement Project in Fremont, Steuben County, Indiana (Des. No. 1601102), please continue to refer to DHPA No. 24113.

Very truly yours,

had W. Shih

Beth K. McCord Deputy State Historic Preservation Officer

BKM:CWS:cws

emc: Karstin Carmany-George, FHWA Michelle Allen, FHWA Anuradha Kumar, INDOT Shaun Miller, INDOT Susan Branigin, INDOT Leah Perry, American Structurepoint Linda Weintraut, Ph.D., Weintraut & Associates Craig Arnold, Weintraut & Associates Forest County Potawatomi Community Miami Tribe of Oklahoma Eastern Shawnee Tribe of Oklahoma Peoria Tribe of Indians of Oklahoma Pokagon Band of Potawatomi Indians Town of Fremont, Clerk-Treasurer Town of Fremont, Street Superintendent Beth K. McCord, DNR-DHPA Chad Slider, DNR-DHPA

PUBLIC NOTICE Des. No. 1601102

The Indiana Department of Transportation (INDOT) is planning to undertake a road improvement project, funded in part by the Federal Highway Administration. The project is located on SR 827, beginning 1.06 miles south of SR 120 and extending north to the intersection of SR 827 and SR 120 in Framoni, Steuben County, Indiana.

The proposed project will involve a hot mix asphalt (HMA) overlay with minor structural pavement rehabilitation and sections of full pavement replacement. Additionally, approximately 1,445 feet of SR 827 will be realigned from just south of Swager Road to just north of Broad Street. The intersection of Swager Road and SR 827 will be shifted approximately 40 feet to the west. Due to this realignment, the railroad crossing at SR 827 and Swager Road will be shifted southwest Sidewalk will be repaired, replaced, and/or extended where needed. New storm sewer with drainage inlets will be installed in curbed segments and drain to the existing detention pond located north of the intersection of SR 827 and Broad Street which will be expanded. Two culverts will be replaced. Existing curb will be replaced with curb and gutter. New curb and gutter would be extended south to Swager Road. Curb ramps and sections of sidewalk throughout the project area will be reconstructed as needed to be ADA-compliant. Approximately 4.112 acres of new permanent right-of-way and 0.489 acre of temporary right-ofway would need to be acquired.

include the Erastus Farnham House IIHSSI No.: 151-017-05031), Fre-mont Historic Commercial District HR (IHSSI Nos.:151-017-06000 through 151-017-06023) and Warren D. Wells House/Fremont Eagle Office (IHSS) No.: 151-017-07043). The proposed action impacts properties listed in or eligible for the NRHP. The Indiana Department of Transponation (IN-DOT), on behall of the FHWA, has issued a "No Adverse Effect" finding for the project because the project will not diminish the integrity of the characteristics that quality the historic properties within the APE for inclu-sion in the NRHP. In accordance with the National Historic Preservation Act, the views of the public are being sought regarding the effect of the proposed project on the historic elements as per 36 CFR 800.2(d), 800.3(e) and 800.6(a)(4). Pursuant to 36 CFR 800.4(d)(1), the documentation specified in 36 CFR 800, 11(d) can be viewed electronically by accessing INDOT's Section 106 document posting website IN SCOPE at http://erms.indot.in.gov/Section 106Documents. Persons with limited internet access may request the documentation be mailed, please

contact Mrs. Leah Perry, Ph:(317) 5.4.7 - 5.5.8.0 , L.p.e.r.r.y Lperty @structurepoint.com. This documentation serves as the basis for the *No Adverse Effect" finding. The views of the public on this effect finding are being sought. Please reply with any comments to Mrs. Leah Perry, American Structurepoint, Inc., 9025 River Road, Suile 200, Indianapolis, IN 46240, Ph:(317) 547-5580, Fax:(317) 543-0270, Lperry @structurepoint.com no later than no later than December 3, 2020.

In accordance with the "Americans Way would need to be acquired. With Disability for which INDOT needs to the National Register of Historic provide accessibility to the docu-Places (NRHP) located within the ment(s) such as interpreters or ment(s) such as interpreters or the such as inte readers, please contact Jenny Bass 260-969-8252 or at ibass

HR.2065875,11/3,hspaxp

Tax ID 35-0436930

To: KPC Media Group Inc

P.O. Box 39, KENDALLVILLE, IN 46755

PUBLISHERS OF HERALD REPUBLICAN

Private Legal Advertising

(Payment not from public treasury)

PUBLISHER'S CLAIM

Advertiser: AMERICAN STRUCTURE POINT ENVIRON

COMPUTATION OF CHARGE

522.0 words, at 0.3300 cents per word (\$6.60 minimum (This charge is applied at the discretion of the publisher copy which does not conform to the usual standrads of s	to all legal advertising	
Charge for extra proofs of publication (\$1.00 for each proof in excess of 2)	\$ <u>0.00</u>	
Data for computing cost: Width of single column - 9.9 ems number of insertions: 1 I insertion \$.33 per word, 2 insertions \$.44, 3 insertions	Total Amount of Claim\$ <u>172.26</u> \$.55	

"Pursuant to the provisions and penalties of Chapter 155, Act 1953, (s)he further says that the foregoing account is just and correct, that the amount claimed is legally due, after allowing all just credits, and that no part of the same has been paid"

Date: 11/03/2020

LANETTE MCGUIRE Legal Clerk Ad#: 2065875 AMERICAN STRUCTURE POINT ENVIRON

PUBLISHER'S AFFIDAVIT

STEUBEN County

State of Indiana } SS:

Personally appeared before me, a notary public in and for said county and state, the undersigned LANETTE MCGUIRE who being duly sworn said that (s)he is of competent age and is Legal Clerk of KPC Media Group Inc, publisher of a daily newspaper in Kendallville, county of Noble, State of Indiana, a weekly newspaper in Ligonier, county of Noble, State of Indiana, a weekly newspaper in Albion, county of Noble, State of Indiana, a daily newspaper in Auburn, county of DeKalb, State of Indiana, a daily newspaper in Angola, county of Steuben, State of Indiana, a weekly newspaper in Garrett, county of DeKalb, State of Indiana, Butler a weekly newspaper in Butler, county of DeKalb, State of Indiana, a weekly paper in Huntertown, & Fort Wayne, county of Allen, State of Indiana, a weekly paper in Churubusco, & Columbia City county c Whitley, State of Indiana and which during that time have been newspaper: of general circulation, having bona fide paid circulations, printed in the English language and entered, authorized and accepted by the post office department of the United States of America as mailable matter of the second-class as defined by the Act of Congress of the United States on March 3, 1879, and that the printed matter attached is a trille bopy which was duly published in said newspaper 1 times the dates of publication being as follows: 11/03/2020

Affiant_ Subscribed and sworn before me on 11/03/2020 Notary Public My commission expires: