



# APPLICATION FOR VARIANCE

State Form 4440D (R7 / 10-13)  
Approved by State Board of Accounts, 2013

INDIANA DEPARTMENT OF HOMELAND SECURITY  
CODE SERVICES SECTION  
302 West Washington Street, Room W246  
Indianapolis, IN 46204-2739  
[http://www.in.gov/dhs/firefp\\_bs\\_comm\\_code/](http://www.in.gov/dhs/firefp_bs_comm_code/)



**INSTRUCTIONS:** Please refer to the attached four (4) page instructions.  
Attach additional pages as needed to complete this application.

Variance number (Assigned by department)

16852

17-08-58

### 1. APPLICANT INFORMATION (Person who would be in violation if variance is not granted; usually this is the owner)

Name of applicant	Title
Jenny Raugh	Property Manager
Name of organization	Telephone number
Quad Properties, Inc. DBA Eastview Apartments	(260) 589-8602
Address (number and street, city, state, and ZIP code)	
PO Box 163 Berne, IN 46711	

### 2. PERSON SUBMITTING APPLICATION ON BEHALF OF THE APPLICANT (if not submitted by the applicant)

Name of applicant	Title
Josh Barkley	President
Name of organization	Telephone number
Earkley Builders, Inc.	(260) 622-7674
Address (number and street, city, state, and ZIP code)	
1383 E. 950N Ossian, IN 46777	

### 3. DESIGN PROFESSIONAL OF RECORD (if applicable)

Name of design professional	License number
Cale D. Jacobs	11300149
Name of organization	Telephone number
CJ Engineering	(937) 539-8820
Address (number and street, city, state, and ZIP code)	
6807 Catamaran Drive Huntsville, OH 43324	

### 4. PROJECT IDENTIFICATION

Name of project	State project number	County
East View Apartments Building #8		Adams
Address of site (number and street, city, state, and ZIP code)		
6308 S. 000 Road Berne, IN 46711		
Type of project		
<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of occupancy <input type="checkbox"/> Existing		

### 5. REQUIRED ADDITIONAL INFORMATION

The following required information has been included with this application (check as applicable):

- A check made payable to the Indiana Department of Homeland Security for the appropriate amount. (see instructions)
- One (1) set of plans or drawings and supporting data that describe the area affected by the requested variance and any proposed alternatives.
- Written documentation showing that the local fire official has received a copy of the variance application.
- Written documentation showing that the local building official has received a copy of the variance application.

### 6. VIOLATION INFORMATION

Has the Plan Review Section of the Division of Fire and Building Safety issued a Correction Order?

Yes (If yes, attach a copy of the Correction Order.)      No

Has a violation been issued?

Yes (If yes, attach a copy of the Violation and answer the following.)      No

Violation issued by:

Local Building Department      State Fire and Building Code Enforcement Section      Local Fire Department

**7. DESCRIPTION OF REQUESTED VARIANCE**

Name of code or standard and edition involved 2014 Indiana Building Code	Specific code section 903.3.1.2
Nature of non-compliance (include a description of spaces, equipment, etc. involved as necessary.) NFPA 13 R fire suppression system will not be installed.	

**8. DEMONSTRATION THAT PUBLIC HEALTH, SAFETY, AND WELFARE WILL BE PROTECTED**

Select one of the following statements:

Non-compliance with the rule will not be adverse to the public health, safety or welfare; or

Applicant will undertake alternative actions in lieu of compliance with the rule to ensure that granting of the variance will not be adverse to public health, safety, or welfare. Explain why alternative actions would be adequate (*be specific*).

Facts demonstrating that the above selected statement is true:  
 Project will be protected by NFPA 13D fire suppression system in lieu of code required NFPA 13R fire suppression system.  
 Project is 12 unit two story apartment building with slab on grade foundation.  
 2x10 dimensional floor framing will be utilized for second floor system system.  
 5/8" fire code drywall for first floor ceiling along with 3/4" gyp-crete on second floor subfloor will be utilized.  
 5/8" fire code drywall will be utilized between dividing walls of each unit from first floor to bottom side of roof decking.  
 Fire rated osb  
 There are two exits per apartment unit.  
 All sleeping rooms will have windows that meet egress code requirements.

**9. DEMONSTRATION OF UNDUE HARDSHIP OR HISTORICALLY SIGNIFICANT STRUCTURE**

Select at least one of the following statements:

Imposition of the rule would result in an undue hardship (*unusual difficulty*) because of physical limitations of the construction site or its utility services.

Imposition of the rule would result in an undue hardship (*unusual difficulty*) because of major operational problems in the use of the building or structure.

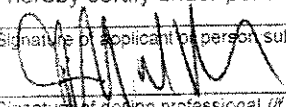
Imposition of the rule would result in an undue hardship (*unusual difficulty*) because of excessive costs of additional or altered construction elements.

Imposition of the rule would prevent the preservation of an architecturally or a historically significant part of the building or structure.

Facts demonstrating that the above selected statement is true:  
 City of Berne does not have adequate water pressure to support NFPA 13R fire suppression system.  
 Cost to run private water main would be in excess of \$500,000.00  
 Cost of NFPA 13r system would be \$75,000.00  
 Cost of project is \$660,000.00, above system and water main would add 83% to project.


**10. STATEMENT OF ACCURACY**

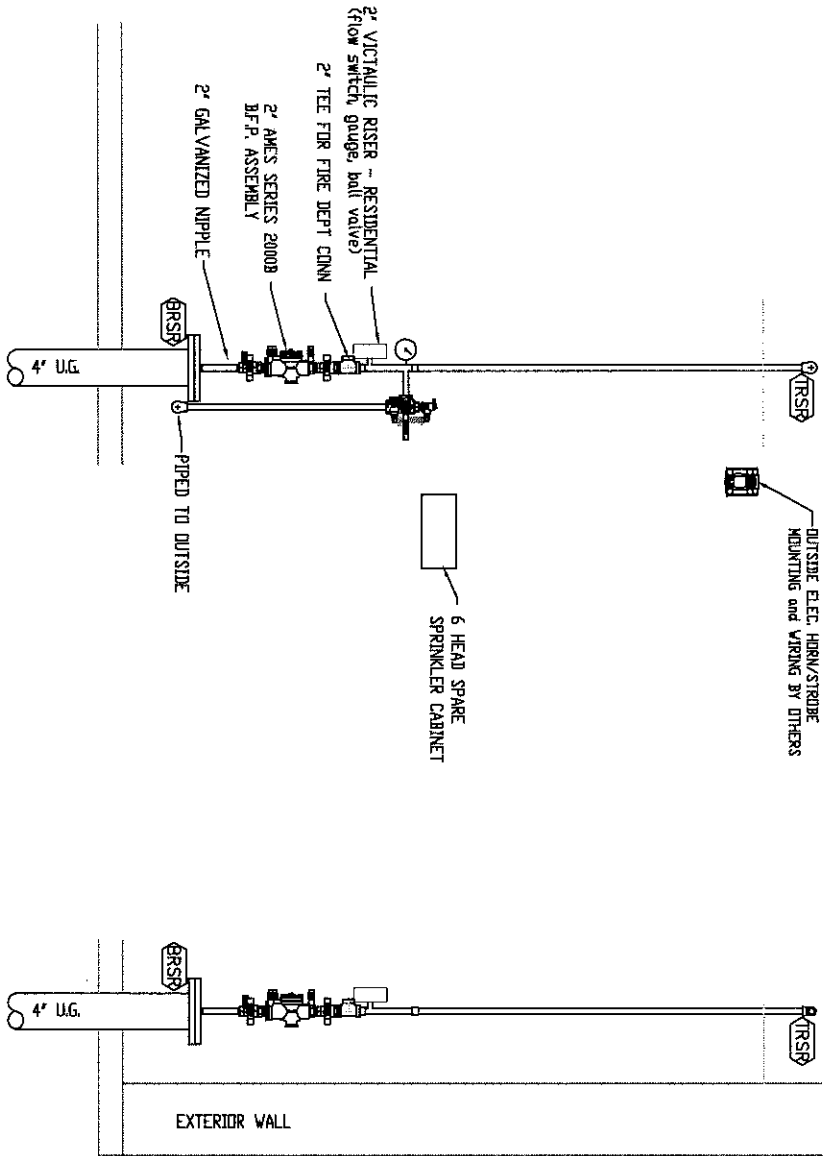
I hereby certify under penalty of perjury that the information contained in this application is accurate.

Signature of applicant or person submitting application 	Please print name Joshua W. Barkley	Date of signature (month, day, year) 7/5/2017
Signature of design professional (if applicable)	Please print name	Date of signature (month, day, year)

**11. STATEMENT OF AWARENESS (If the application is submitted on the applicant's behalf, the applicant must sign the following statement.)**

I hereby certify under penalty of perjury that I am aware of this request for variance and that this application is being submitted on my behalf.

Signature of applicant 	Please print name Joshua W. Barkley	Date of signature (month, day, year) 7/5/2017
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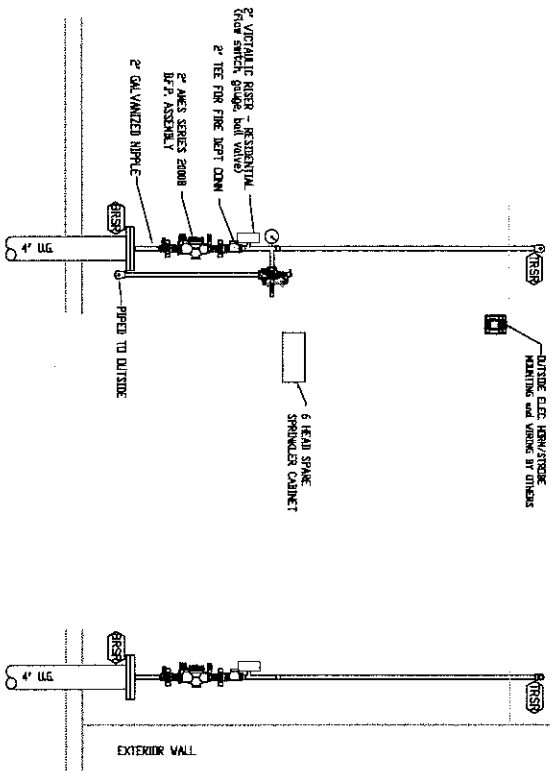


# RISER DETAIL

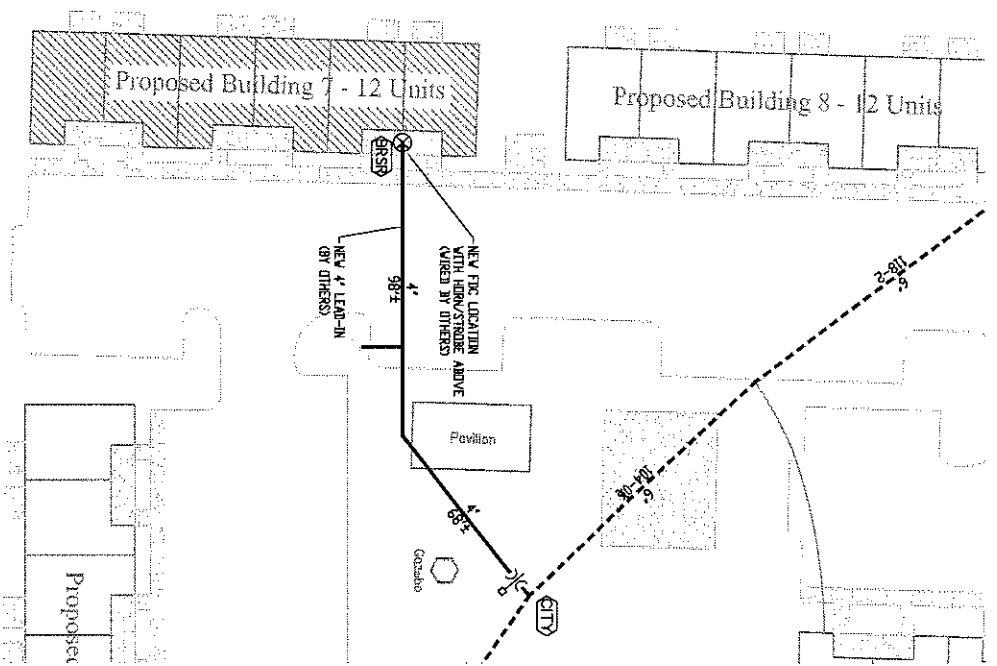
SCALE: 1/2" = 1'-0"



**LEGEND**  
 1. All risers shall be cast iron, schedule 40, fittings, UL listed. In a room to meet or exceed NFPA Standard F 437, F 438 and F 439.  
 2. Riser piping screened fittings shall be ductile iron threaded, Class 150 (standard), manufactured per ANSI B16.1, UL listed for fire protection to 175 PSI.  
 3. NFPA 13A - 2010, Section 6.6.5  
 4. All risers shall be installed in any corridors, balconies, corridors, closets, and stairs that are open and attached.



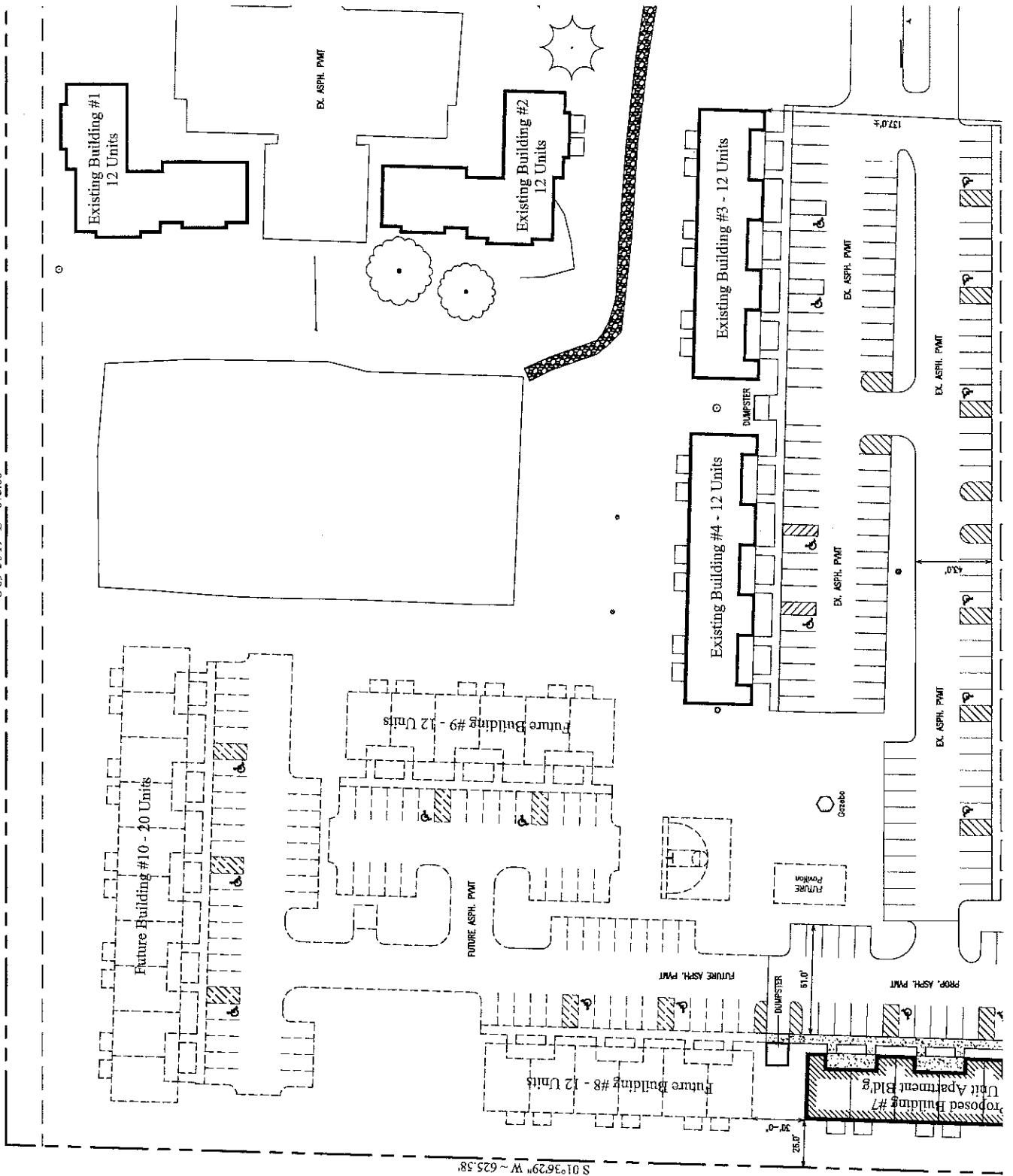
**RISER DETAIL**  
 SCALE: 1/2" = 1'-0"



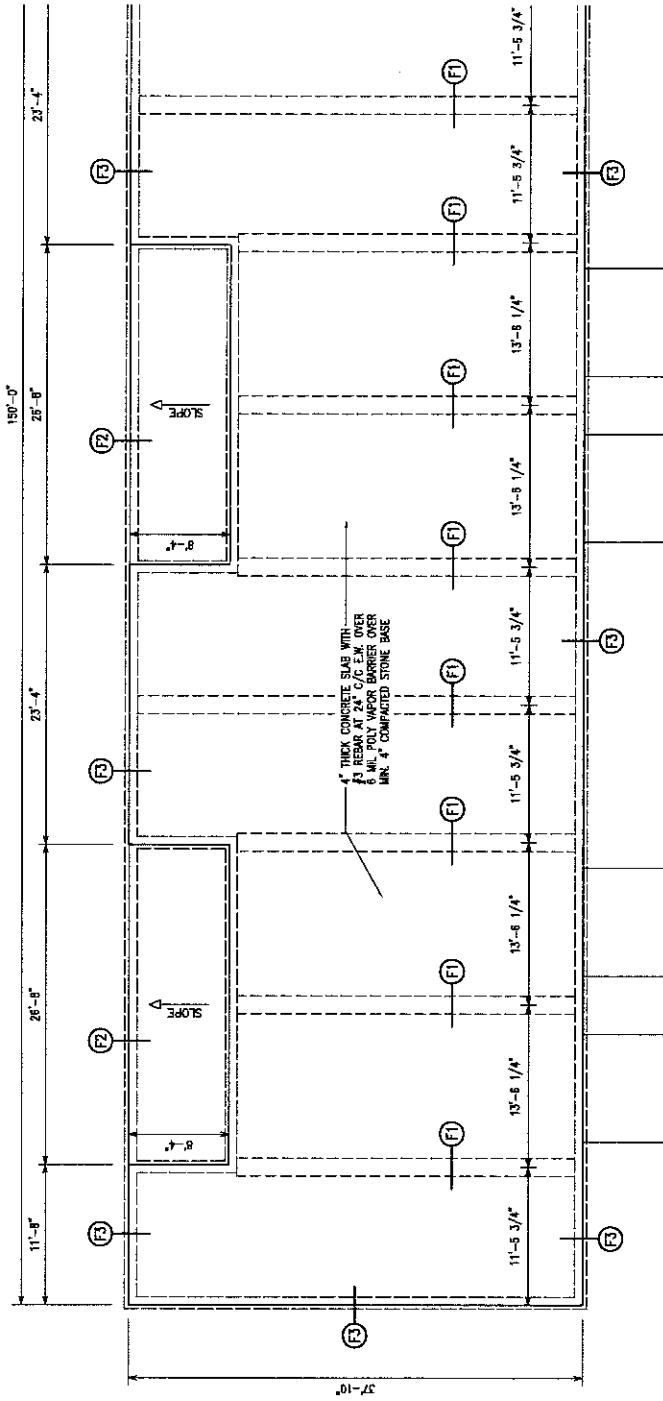
**FIRE PROTECTION**  
 FOR HYDRAULIC REFERENCE ONLY



S 89°56'19" E - 675.00'



S 01°36'29" W - 625.58'



FOUNDATION PLAN  
1/8" = 1'-0"

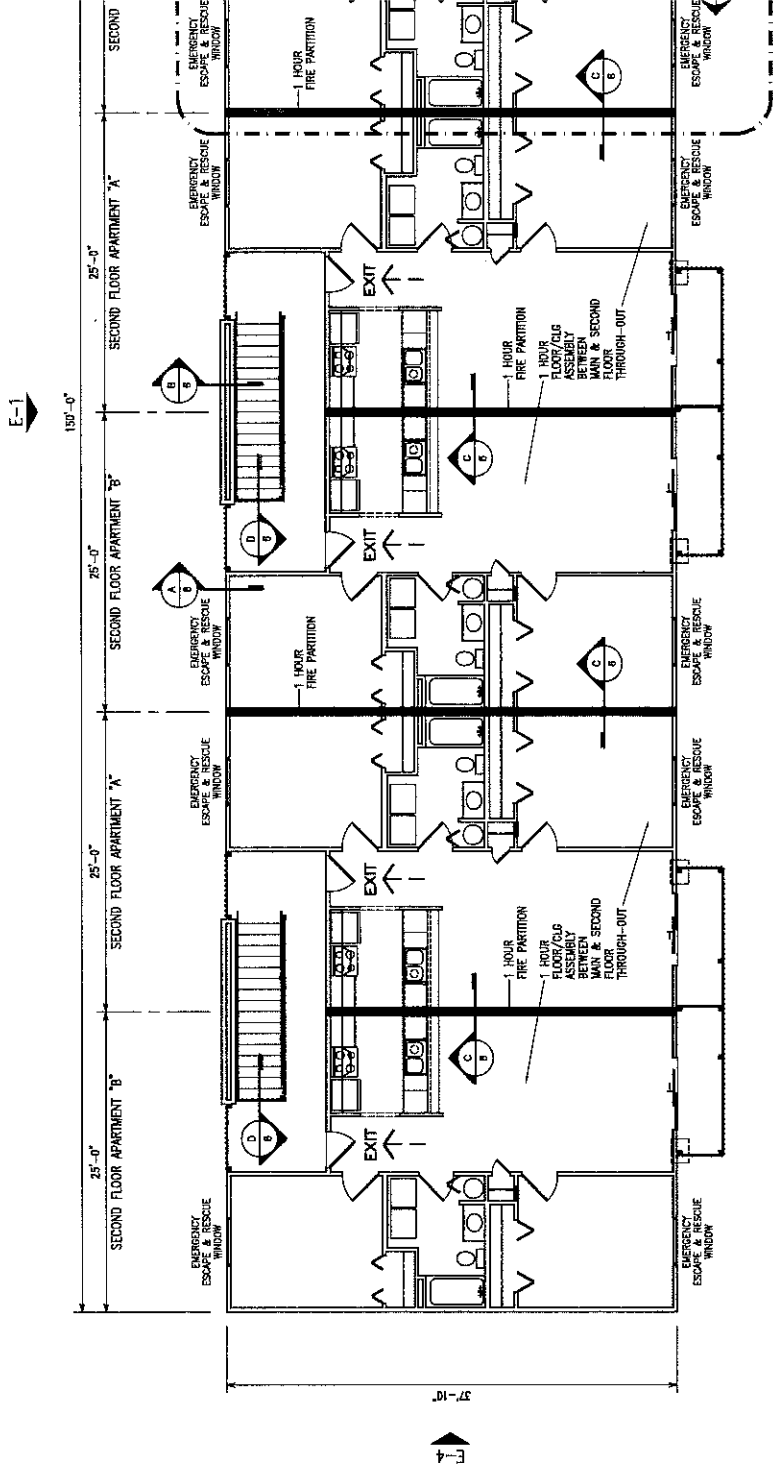
NORTH

4" LONG REBAR  
AT 24" O/C

+

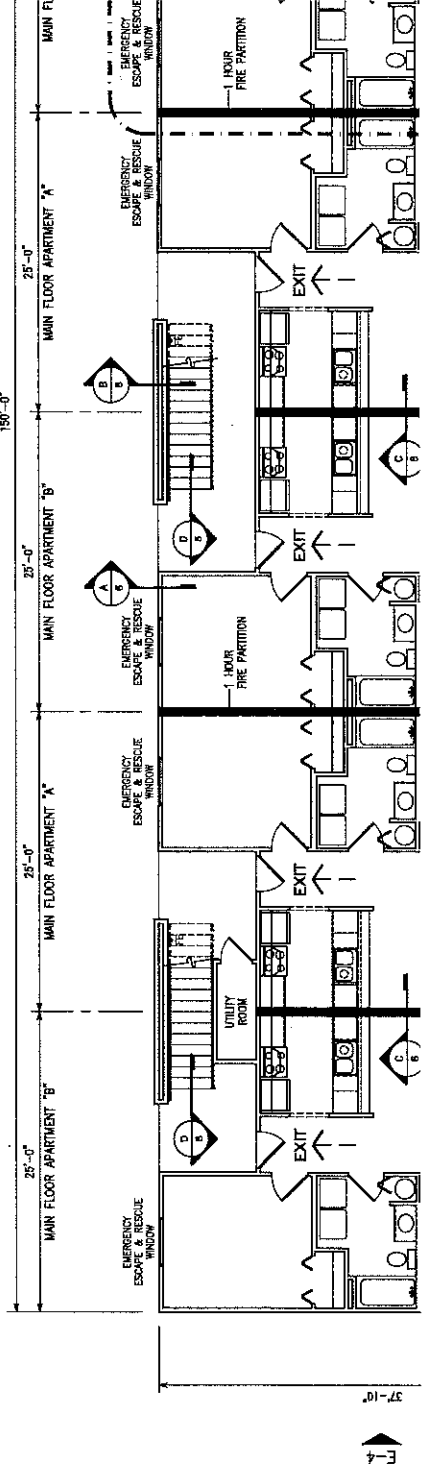
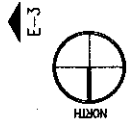
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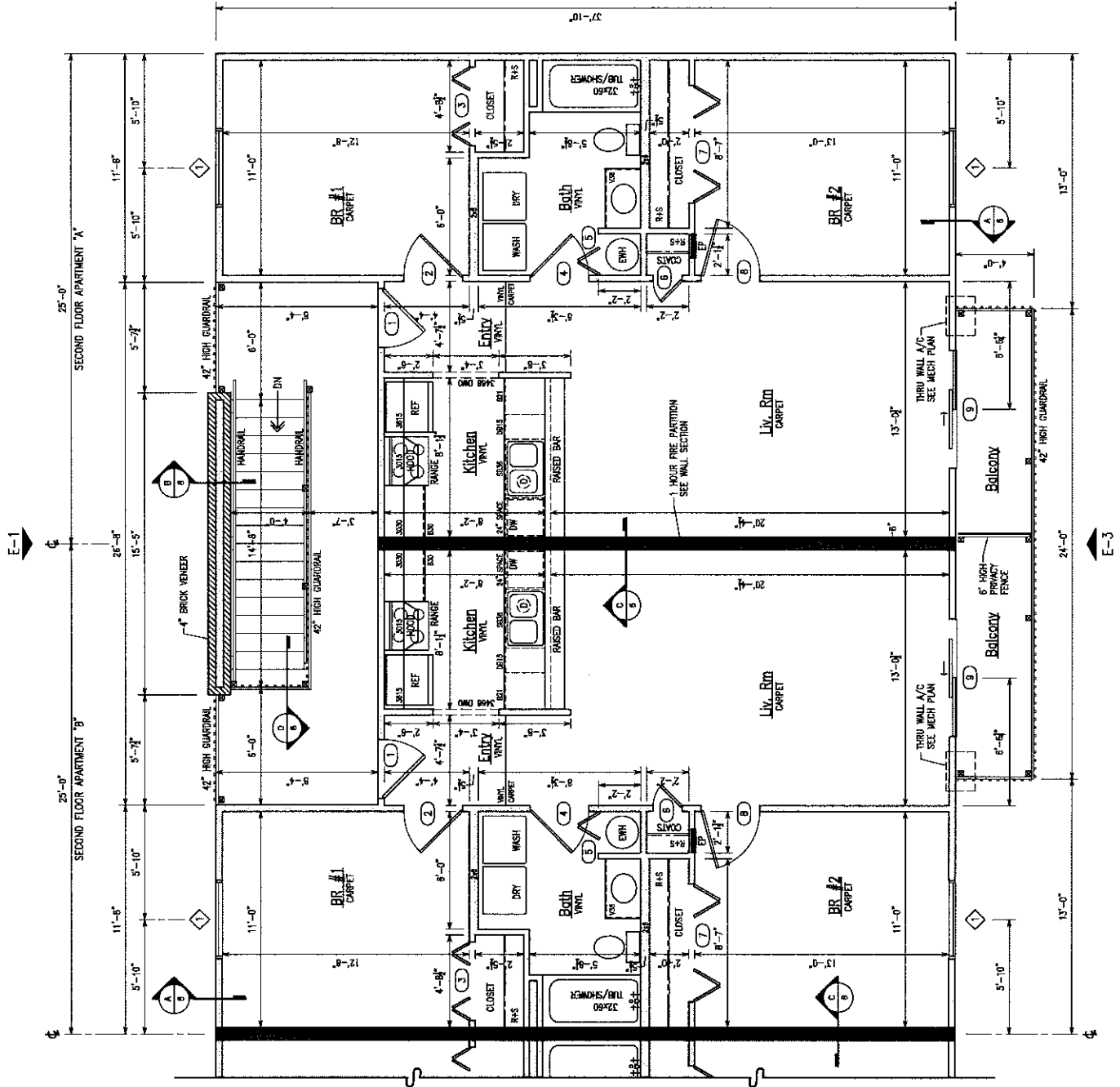
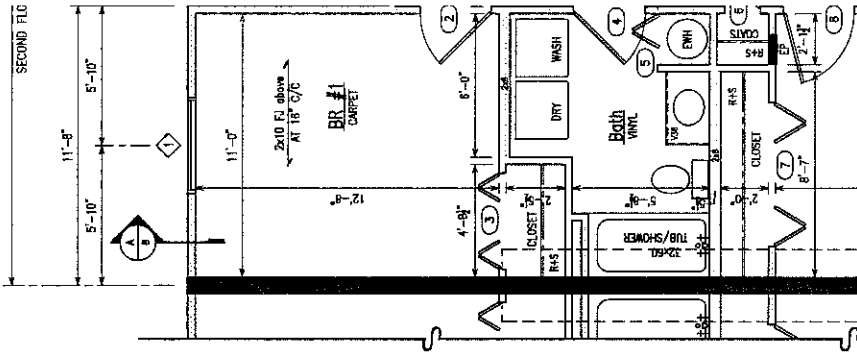
# OVERALL SECOND FLOOR PLAN

1/8" = 1'-0"

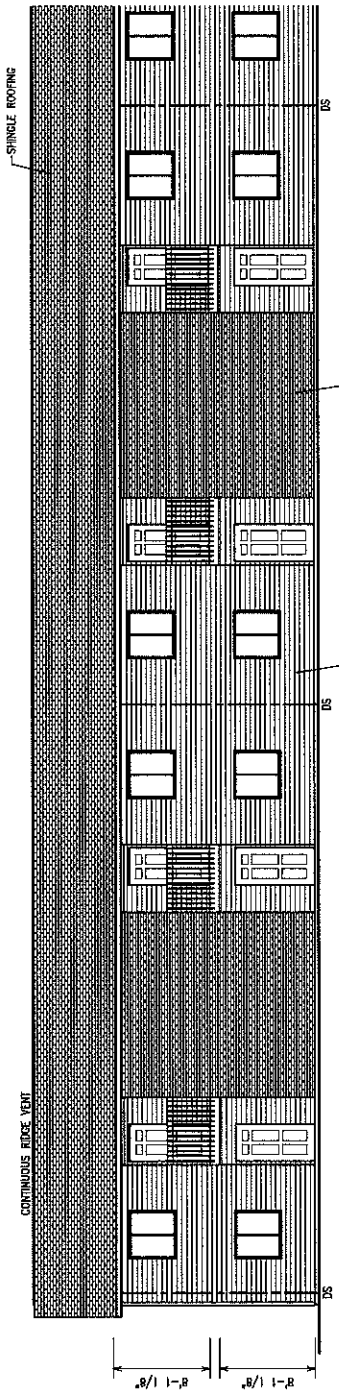


WINC	
MARK	◇
1	4'-0" INSUL

- GRAPHIC SY1
- ① NOTES
  - ② DOOR
  - ③ WINDOW
  - ④ EXTERIOR SEE S1
  - ⑤ E-1
  - ⑥ WALL TOP BOTH

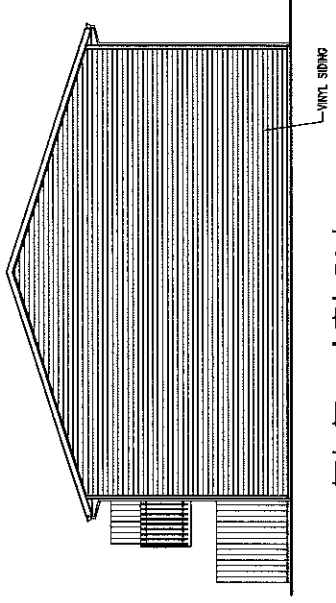


ENLARGED  
SECOND FLOOR PLAN  
1/4" = 1'-0"

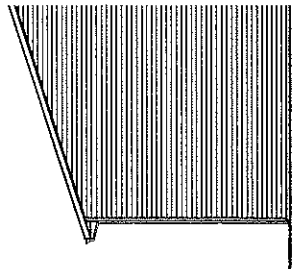


**ELEVATION**  
1/8" = 1'-0"

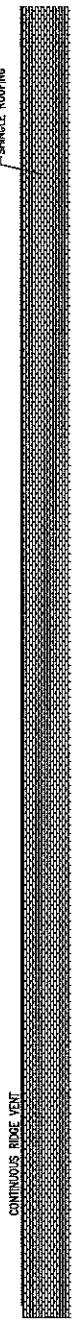
E-1



**ELEVATION**  
1/8" = 1'-0"

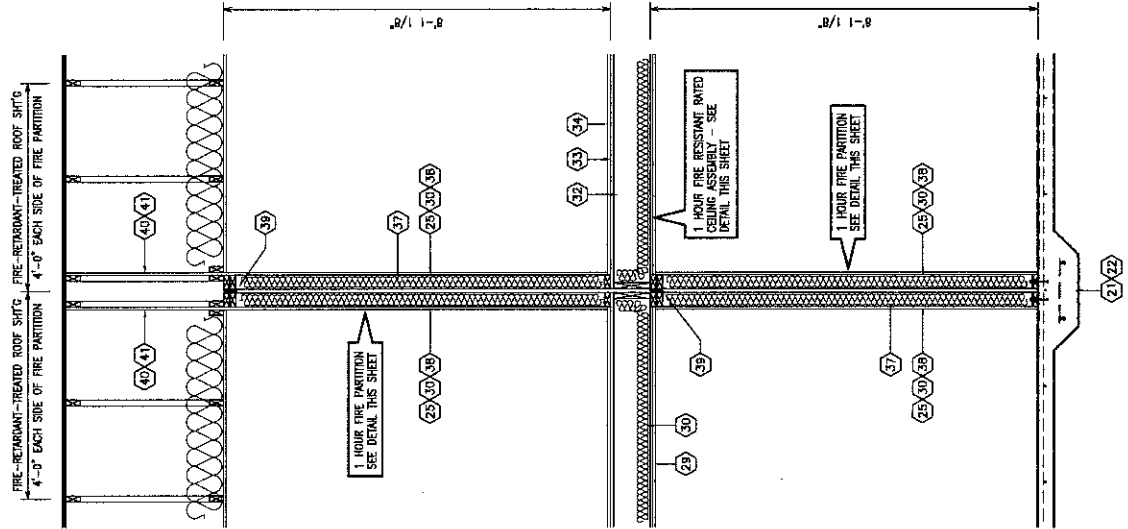


**ELEVATION**  
1/8" = 1'-0"

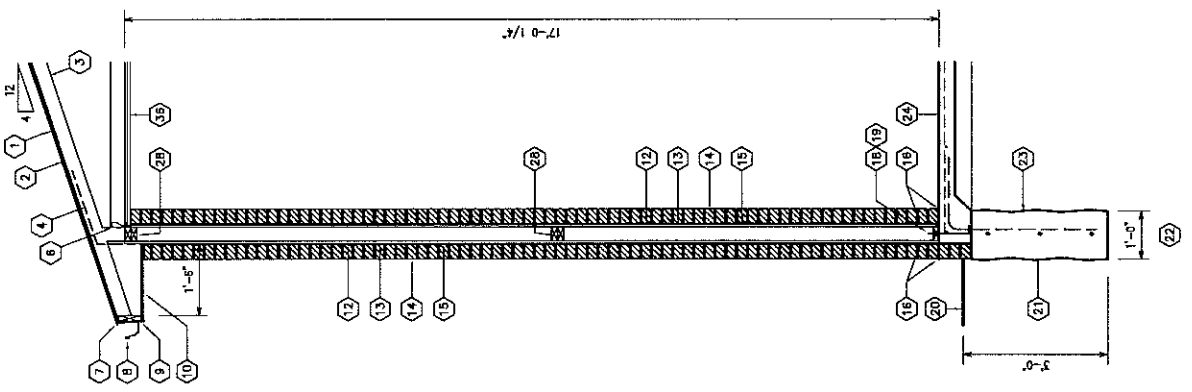


CONTINUOUS EDGE VENT

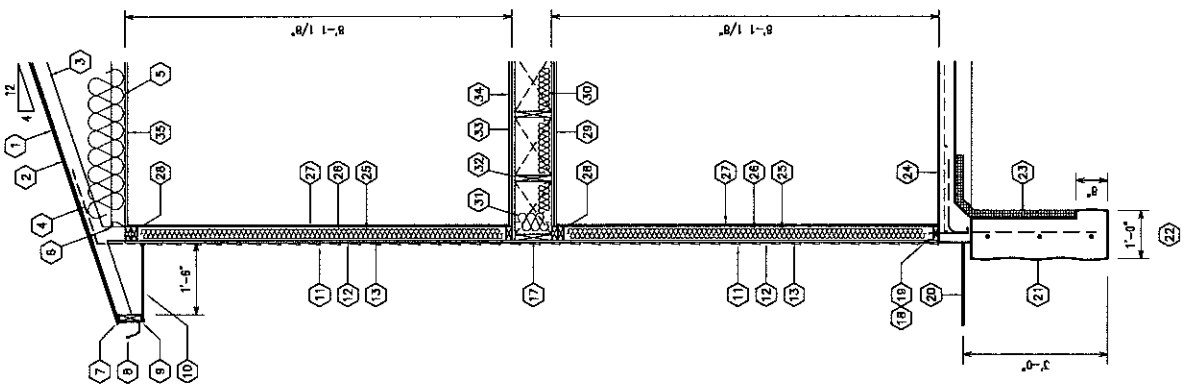
WALL 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21



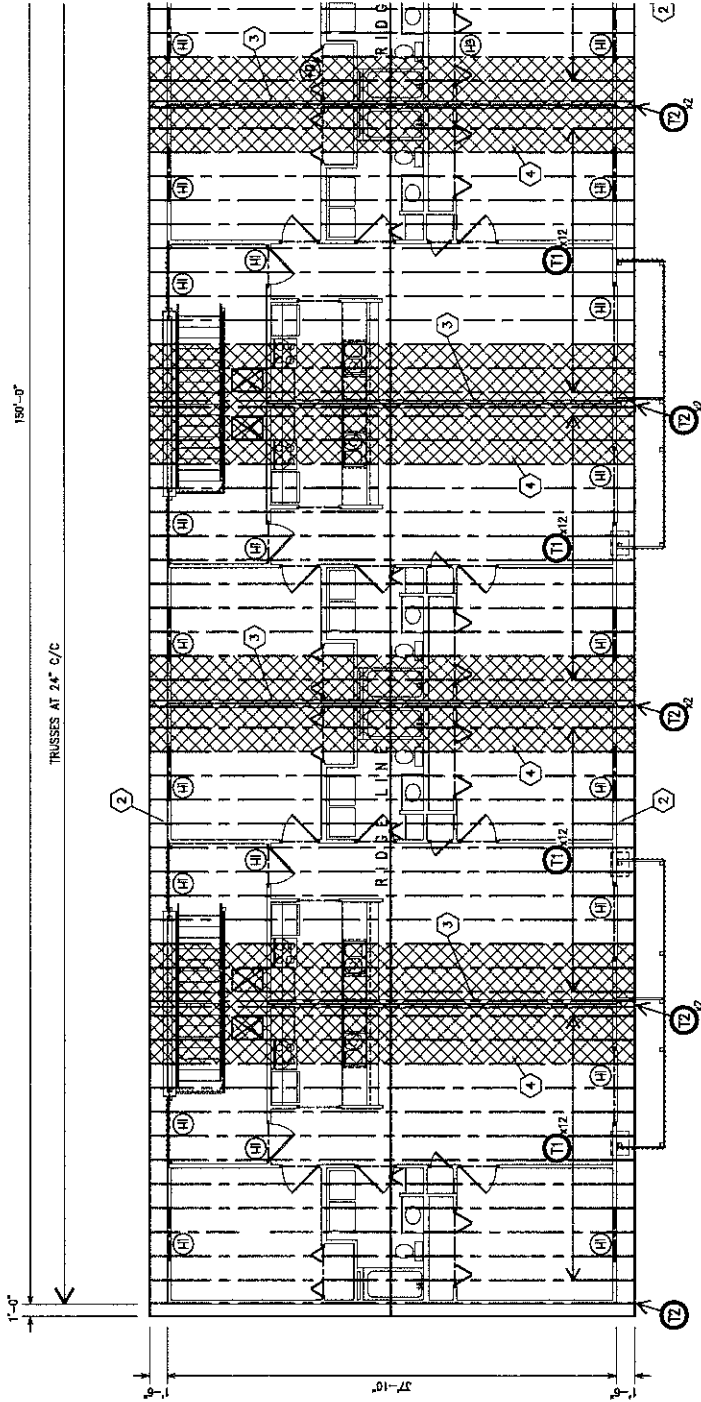
WALL SECTION  
1/2" = 1'-0"



WALL SECTION  
1/2" = 1'-0"



WALL SECTION  
1/2" = 1'-0"



# ROOF FRAMING PLAN

1/8" = 1'-0"

### ROOF FRAMING PLAN NOTE LEGEND:

- (1) 22" x 40" ATTIC ACCESS
- (2) TRUSS TIE AT EACH END OF ALL TRUSSES  
SEE WALL SECTIONS
- (3) 1 HR FIRE PARTITION TO EXTEND TIGHT TO  
UNDERSIDE OF ROOF SHEATHING  
SEE WALL SECTIONS
- (4) ROOF SHEATHING TO BE FIRE-RETARDANT-TREATED  
4'-0" EACH SIDE OF FIRE PARTITION.

### ROOF DESIGN LOADS:

- TOP CHORD LIVE LOAD: 20 PSF
- TOP CHORD DEAD LOAD: 10 PSF
- BOTTOM CHORD DEAD LOAD: 10 PSF

### HEADER SCHEDULE:

#2 SP or better

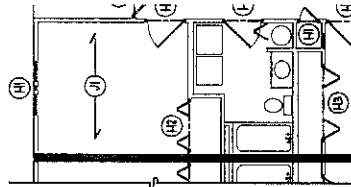
- (H1) (2) 2x12's with 1/2" PLYWD SPACER
- (H2) (2) 2x4's with 1/2" PLYWD SPACER
- (H3) (2) 2x6's with 1/2" PLYWD SPACER
- (H4) (3) 1.75" x 9.25" LVL (FLUSH)

PROVIDE 1/2" PLYWOOD FLITCH PLATE BETWEEN  
HEADER PIECES TO MATCH WALL STUD WIDTH.  
PROVIDE A MIN. OF (2) STUDS ON EACH  
SIDE OF ALL OPENINGS.

### STRUCTURAL SPECIFICATIONS:

MINIMUM GRADE FOR ALL STRUCTURAL LUMBER  
E = 1,600,000 psi F<sub>b</sub> = 1200 psi

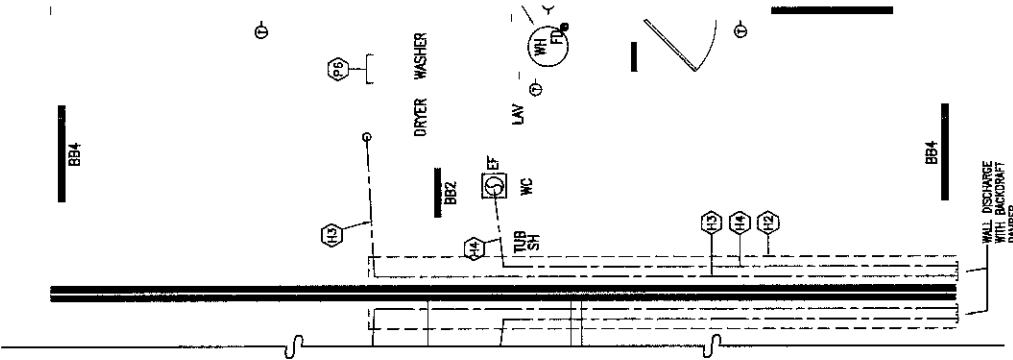
TRUSSES  
PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES WITH METAL  
CONNECTOR PLATES. CONFORM WITH DESIGN CRITERIA ESTABLISHED  
BY THE MANUFACTURER. PROVIDE SNAPE DRAWINGS WITH ENGINEERS' CERTIFICATION.  
INSTALL ALL BRACING AS SPECIFIED BY TRUSS MFR.



1'-0"

37'-10"

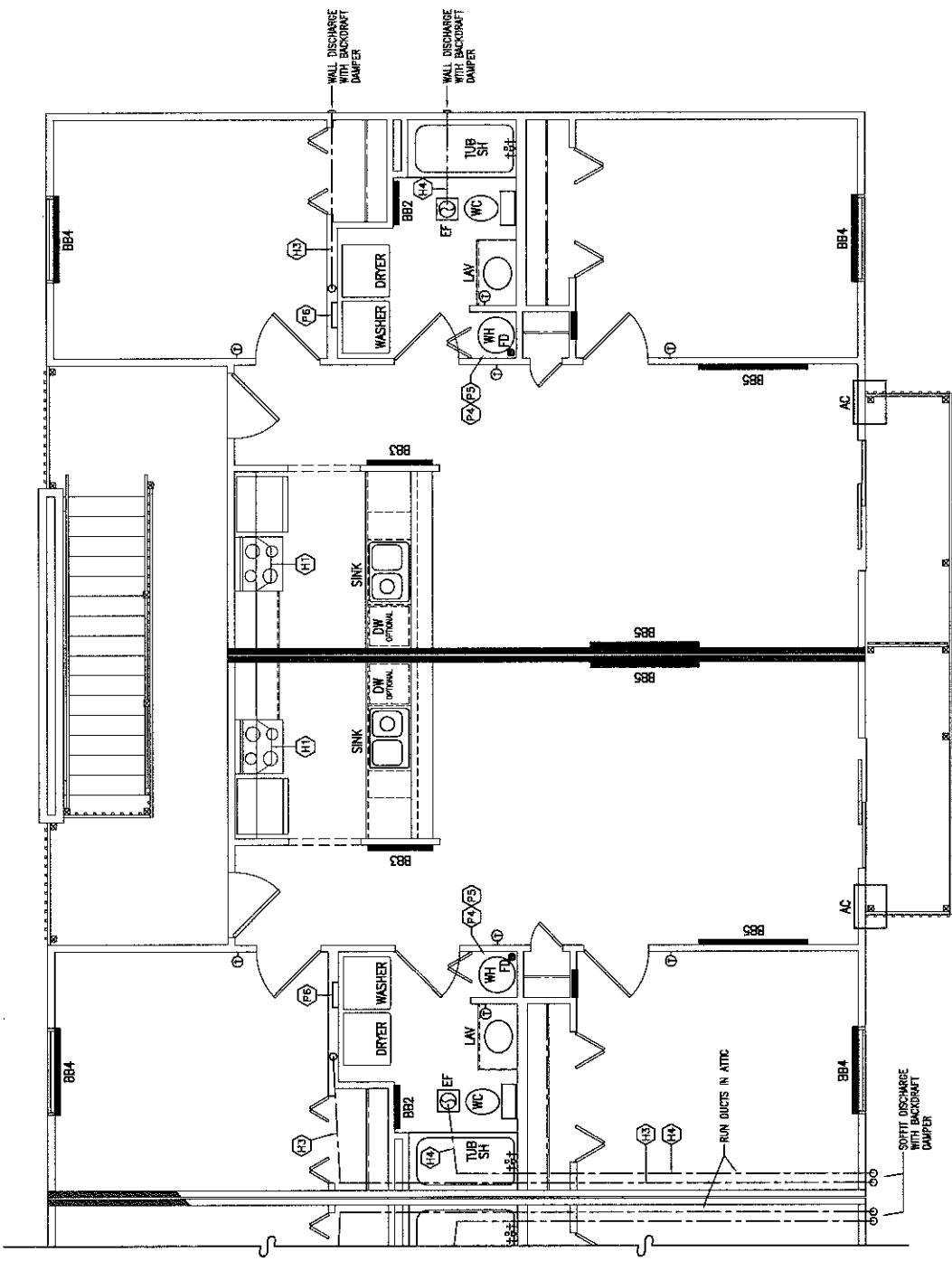
1'-0"



# PLUMBING-HVAC MAIN FLOOR

1/4" = 1'-0"

**WATER PIPING:**  
DOMESTIC COLD & HOT WATER PIPING CAN BE RUN IN THE FOLLOWING:  
ABS, PVC, DRG, PE, PEV OR PB  
COPPER PIPE, COPPER TUBING, GALVANIZED STEEL,  
PROVIDE SHUT-OFF VALVES AT ALL CONNECTIONS TO FIXTURES.  
CONCEAL ALL LINES IN WALLS OR UNDER FLOOR  
WHERE PIPING IS NOT NEAR FOUNDATION WALL OR FOOTING.  
SLEEVE WITH PIPE TWO SIZES LARGER  
ALL DOMESTIC COLD WATER PIPING THAT WILL BE EXPOSED OR LOCATED  
ABOVE THE CEILING, SHALL BE INSULATED.  
ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED THROUGH-OUT.



## PLUMBING FIXTURE LEGEND:

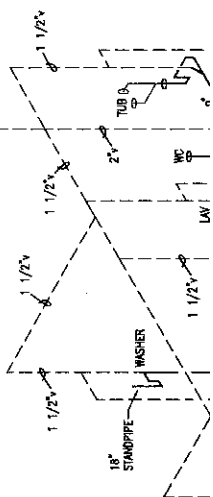
- WC WATER CLOSET, FLOOR MOUNT, TANK TYPE
- LAV LAVATORY, COUNTER MOUNT WITH FAUCET
- TUB/SH BATH TUB/SHOWER, 32"x60" TUB SHOWER UNIT
- FD FLOOR DRAIN
- WH ELECTRIC WATER HEATER, 50 GALLON
- WASHER AUTOMATIC CLOTHES WASHER
- SINK 2 COMPARTMENT SINK, COUNTER MOUNT
- DW DISHWASHING MACHINE (DOMESTIC)

## PLUMBING NOTES:

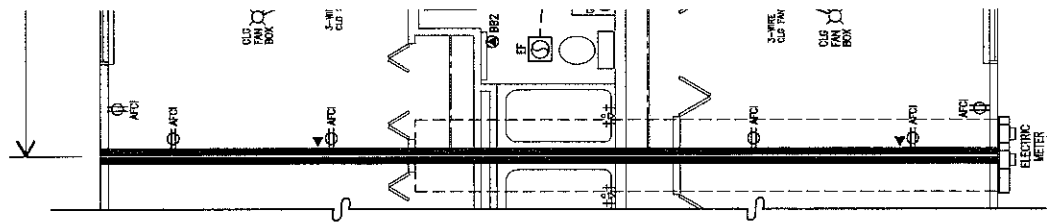
- (P1) INCOMING WATER SERVICE
- (P2) BACKFLOW PREVENTER
- (P3) INDIVIDUAL WATER METERS
- (P4) METERS IN EACH UTILITY ROOM\*
- (P5) ALL WATER HEATERS TO BE INSTALLED IN AN APPROVED PAN.

# PLUMBING-HVAC SECOND FLOOR PLAN

1/4" = 1'-0"



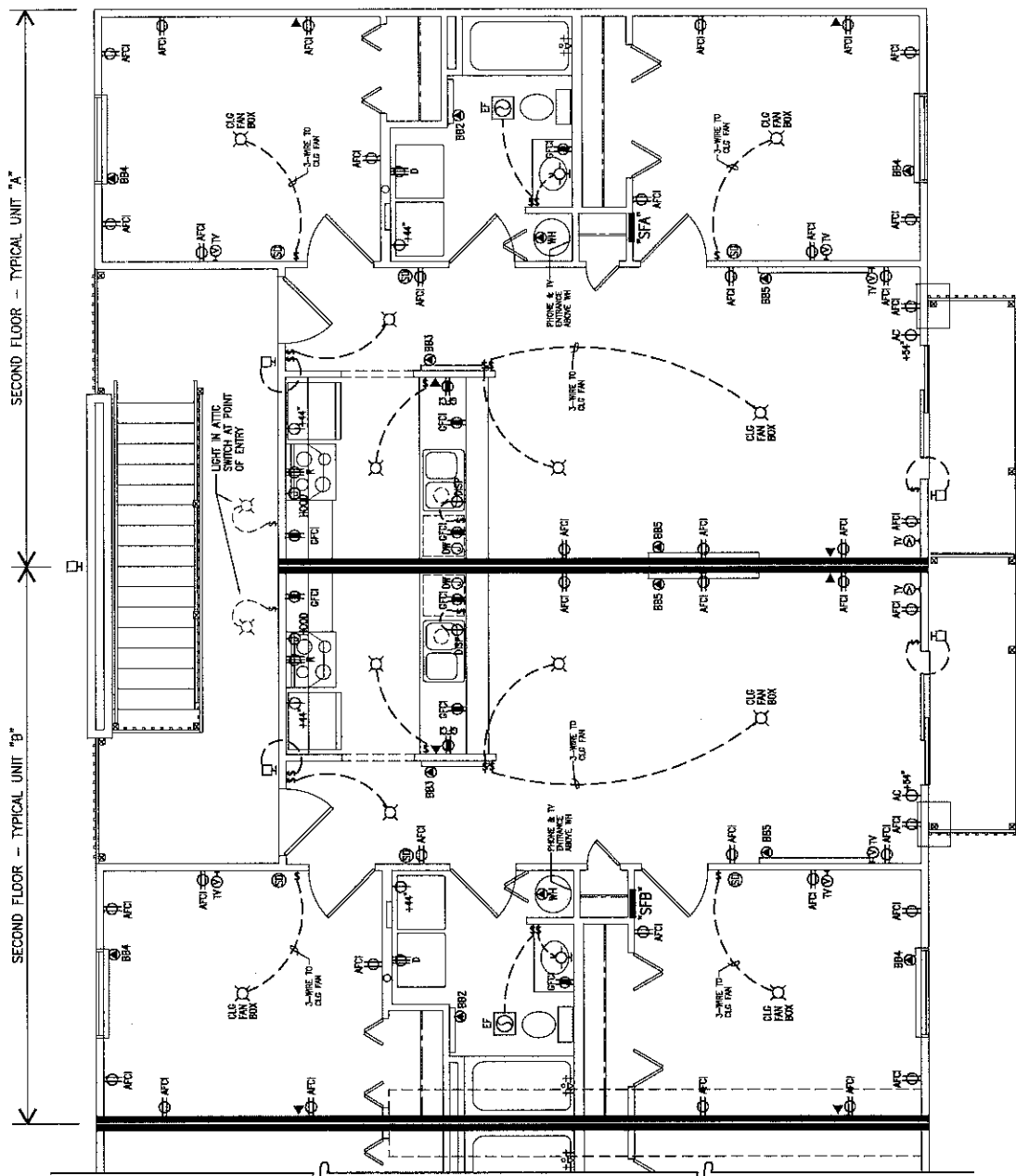
3" VTR



- ELECTRICAL LIGHTING FIXTURE LEGEND:**
- ⊗ INTERIOR CEILING MOUNT LIGHT FIXTURE - 120V
  - ⊙ INTERIOR WALL MOUNT LIGHT FIXTURE - 120V
  - ⊚ EXTERIOR WALL MOUNT LIGHT FIXTURE - 120V
  - ⊕ CEILING MOUNT EXHAUST FAN / LIGHT COMBO - 120V
  - ⊖ SINGLE POLE SWITCH - 48" A.F.F.

- ELECTRICAL POWER FIXTURE LEGEND:**
- ⊖ SINGLE RECEPTACLE, 120V - MOUNT 18" AFF
  - ⊖ DUPLEX RECEPTACLE, 120V - MOUNT 18" AFF
  - ⊖ DUPLEX RECEPTACLE, 120V - MOUNT 6" ABOVE COUNTER
  - ⊖ GFCI - GROUND-FAULT CIRCUIT INTERRUPTER
  - ⊖ AFCI - ARC-FAULT CIRCUIT INTERRUPTER
  - ⊖ WP - WEATHERPROOF
  - ⊖ 30A DRYER RECEPTACLE, 240V
  - ⊖ 40A RANGE RECEPTACLE, 240V

- ⊖ EQUIPMENT
- ⊖ JUNCTION BOX
- ⊖ TELEPHONE RECEPTACLE - FIELD VERIFY LOCATIONS
- ⊖ TV - TELEVISION RECEPTACLE - FIELD VERIFY LOCATIONS
- ⊖ SURGE PROTECTOR DIRECT WIRE WITH BATTERY BACK-UP INTERCONNECT ALL ALARMS IN EACH INDIVIDUAL UNIT



**ELECTRIC MAIN F1**

SCALE: 1/4" = 1'-0"

**GENERAL ELECTRICAL NOTES:**

ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC.

IT IS THE INTENT THAT THE FOREGOING WORK SHALL BE COMPLETE IN EVERY RESPECT AND THAT ANY MATERIALS OR WORK NOT SPECIFICALLY MENTIONED OR DETAILED ON THE DRAWINGS, BUT NECESSARY TO FULLY COMPLETE THE WORK, SHALL BE FURNISHED.

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.

ALL BRANCH WIRING SHALL BE THIN COPPER.

INTERIOR WIRING TO BE TYPE NM-CABLE.

WIRING THAT PENETRATES THE FIREWALL SHALL BE SLEEVED IN METAL CONDUIT.

WIRING UNDER THE SLAB TO BE RUN IN SCHED. 40 PVC CONDUIT.

INSTALLATION OF ALL WIRING TO COMPLY WITH THE NEC.

PROVIDE STEEL NAIL-PLATE PROTECTION, WHERE REQUIRED.

FIXTURES SHALL BE AS SELECTED BY THE OWNER.

ALL ELECTRICAL ITEMS SHALL BE UL, OR FM LISTED AND LABELED.

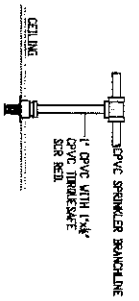
**ELECTRICAL SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

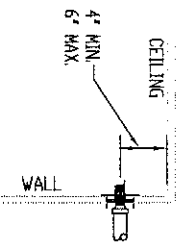




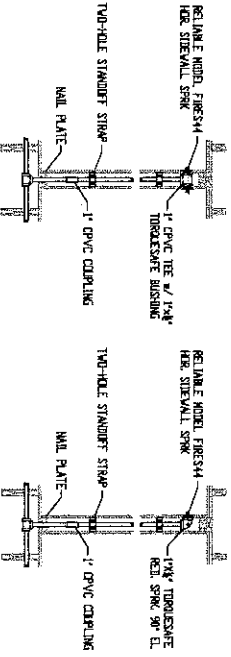




**STRAIGHT DROP DETAIL**  
NO SCALE

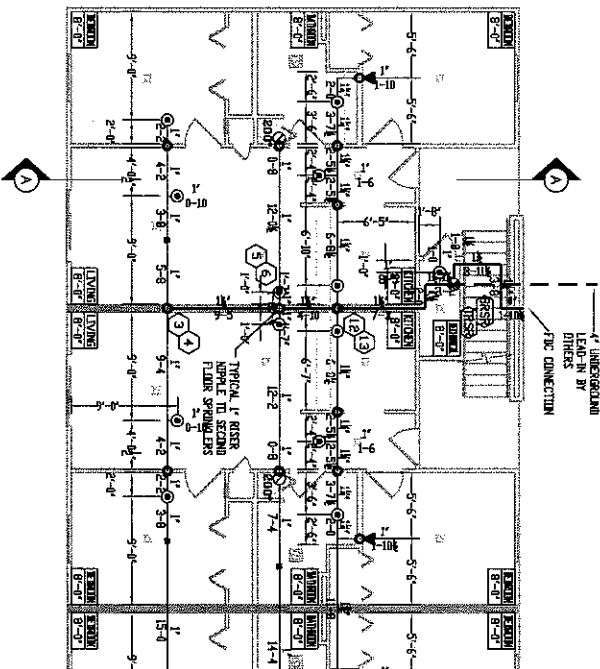


**HSW SPRINKLER DEFLECTOR DETAIL**  
NO SCALE



**2ND FLOOR TYPICAL DETAIL**  
NO SCALE

HYDRAULIC CALCULATION FILE NO. 1ST FLOOR ROOM CALC  
HYDRAULIC DATA SUMMARY  
AS SHOWN ON PRINT NO. 00-2. DATED 02/21/06.  
PROJECT: EAST VIEW APARTMENTS  
SYSTEM NO. 1 CONTRACT NO. E0291.  
IS RATED FOR 1. SPRINKLERS TO DISCHARGE AT  
A HEIGHT OF 65 GPM PER SPRINKLER FOR OVER 10000  
FLOOR AREA IF 2 HEADS 50 FT. MAX SPACED WITH  
WATER AT A RATE OF 59.46 GPM AT A HEADS IF  
41000 PSIG AT BASE OF RISER  
K-F FACTOR 4.5 UNITIES 7/16 TEMPERATURES IF  
RISE ALLOWANCE N/A. MAX STORAGE HEIGHT N/A.  
OCCUPANCY CLASS RESIDENTIAL  
DENSITY CLASS N/A



**OVERALL**  
SCALE: 1/8"=1'-0"

**OVERA**  
SCALE: 1/8"=1'

