



MICHAEL R. PENCE, Governor
STATE OF INDIANA

DEPARTMENT OF HOMELAND SECURITY

DAVID W. KANE, EXECUTIVE DIRECTOR

Indiana Department of Homeland Security
Indiana Government Center South
302 West Washington Street
Indianapolis, IN 46204
317-232-3980

David Bugay
Rolling Maul, LLC
2717 NORTH CR 475

February 5, 2016

LAFAYETTE, IN 47906

Dear David Bugay,

This letter provides notice below of the action taken by the Fire Prevention and Building Safety Commission on your application(s) for a variance(s) from the Commission's rules under IC 22-13-2-11 and 675 IAC 12-5. The Commission considered the application with all alternatives offered, as a part of its published agenda, at its regular meeting on February 2, 2016.

Project Number	Project Name	Variance Number
0	Legacy Sports Club-BLDG # 1 Clubhouse Addition	16-02-35

Commission Conditions

Facility is to be sprinklered when public water becomes available in area.

Edition	Code	Code Section	Commission Action & Date
2008 Indiana Building Code (675 IAC 13-2.5)		903.2.1.3	Approved with Commission condition(s) 02/02/2016

You are advised that if you desire an administrative review of this action, you must file a written petition for review at the above address with the Fire Prevention and Building Safety Commission. Your petition must fully identify the matter for which you seek review no later than eighteen(18) calendar days from the above stated date of this letter, unless such date is a Saturday, Sunday, legal holiday under state statute, or day that the Department of Homeland Security's offices are closed during regular business hours; in which case the deadline would be the first day thereafter that is not a Saturday, Sunday, legal holiday under state statute, or day that the Department of Homeland Security's offices are closed during regular business hours. If you do so, your petition for review will be granted and an administrative proceeding will be conducted by an administrative law judge appointed by the Fire Prevention and Building Safety Commission. If you do not file a petition for review, this action will be final.

Please be further advised that you may request an opportunity to informally discuss this matter prior to filing a petition for review. Such informal discussion, or request therefore, does not extend the deadline for filing a petition for review and, therefore, any request for an informal discussion should be made promptly, preferably by telephone or e-mail, upon receipt of this letter.

Sincerely,

A handwritten signature in dark ink, appearing to read "Dean Illingsworth". The signature is cursive and somewhat stylized, with the first name being the most prominent.

Dean Illingsworth
State Building Law Compliance Officer,
Department of Homeland Security

Owner / Applicant Information

David Bugay
Rolling Maul, LLC
2717 NORTH CR 475

LAFAYETTE IN 47906
Phone 765404901
Email DBUGAY@TRICLINICLABS.COM

Submitter Information

Timothy Callas
J & T Consulting, LLC
8220 Rob Lane

Indianapolis IN
Phone 3178894300
Email tcallas@jtconsult.us

Designer Information

Andrew Switzer
ARKOR
1515 Union Street

Lafayette IN
Phone 7654294070
Email andy@arkor-inc.com

Project Information

Legacy Sports Club-BLDG # 1 Clubhouse Addition
2920 Conservation Club Road

Lafayette IN 47905

County TIPPECANOE

Project Type New Addition Alteration Existing Change of Occupancy

Project Status F F=Filed U or Null=Unfiled

IDHS Issued Correction order? No **Has Violation been Issued?** No

Violation Issued by: NA

Local Building Official

Phone: Email:

Local Fire Official

Phone: Email:

Variance Details

Code Name: 2008 Indiana Building Code (675 IAC 13-2.5)
903.2.1.3

Conditions: A new 2-story addition of 3,872 sf (1980 on 2nd floor, which is A-3 Occupancy) Type IIB construction will be provided with an limited automatic sprinkler system on the 2nd floor and in the Utility/Laundry room on 1st floor. The building water supply is over 2,500 feet away so the design is based upon the available water supply from the existing well.

DEMONSTRATION THAT PUBLIC HEALTH, SAFETY, AND WELFARE ARE PROTECTED:

1=Non-compliance with the rule will not be adverse to the public health, safety or welfare.

2

2= Applicant will undertake alternative actions in lieu of compliance with the rule to ensure that granting of the variance will not be adverse to public health, safety, or welfare. Explain why alternative actions would be adequate (be specific).

Facts:

1. The 2nd floor area is approximately 1,900 square feet. Sprinkler spacing will be per light hazard use at 225 square feet spacing.
2. Based upon ceiling height is 10' or less the design area of 1,500 square feet is permitted to be reduced by 40% to 900 square feet per Section 11.2.3.2.3.1 and Figure 11.2.3.2.3.1. This will require an approximate tank size of 1,500 gallons without automatic refill. A poly tank is permitted. A jockey pump of 100 GPM should suffice.
3. This will then permit a .1/900 sf or .10 design density of the remote area of 900 square feet. The heads will be of quick response type. Concealed spaces are noncombustible, thus no sprinklers in these areas.
4. Inside/Outside hose stream allowance of 100 GPM per Table 11.2.3.1.2 will not be included in the hydraulic design.
5. FDC (Fire Department Connection) will be provided and located per the Lafayette Fire Department. The water flow switch is required to be electrically supervised to a constantly monitored location.
6. A back flow preventer (double check valve) should not be required based upon the water supply will be coming from the potable water source and the utilization of a break tank. A 6 month time limit is requested to install the system.

DEMONSTRATION OF UNDUE HARDSHIP OR HISTORICALLY SIGNIFICANT STRUCTURE:

- Imposition of the rule would result in an undue hardship (unusual difficulty) because of physical limitations of the construction site or its utility services.
- Imposition of the rule would result in an undue hardship (unusual difficulty) because of major operational problems in the use of the building or structure.
- Imposition of the rule would result in an undue hardship (unusual difficulty) because of excessive costs of additional or altered construction elements.
- Imposition of the rule would prevent the preservation of an architecturally or a historically significant part of the building or structure

Facts: The owner's undue hardship involves the lack of water supply, thus requesting a design based upon the available water supply.

LEGACY SPORTS CLUB

BUILDING #1 CLUBHOUSE ADDITION

2900 Conservation Club Road - Lafayette, IN 47905

GENERAL CONTRACTOR
DeBoy BUILDERS, INC.
 1925 Maple Street
 Lafayette, Indiana 47904
 765.479.8044

OWNER
ROLLING MAUL, LLC
 2777 North 475 West
 West Lafayette, IN 47906

ARCHITECTURAL DESIGN
ARKOR
 1515 Union Street
 Lafayette, Indiana 47904
 765.429.4070

BUILDING DATA

EXHIBIT
 OCCUPANCY: F-44
 CONSTRUCTION TYPE: III-B
 BUILDING HEIGHT: TWO STORY
 NOT SPRINKLED

FIVE ASH/DRAWINGS TO BE SUBMITTED BY REGISTERED ARCHITECT

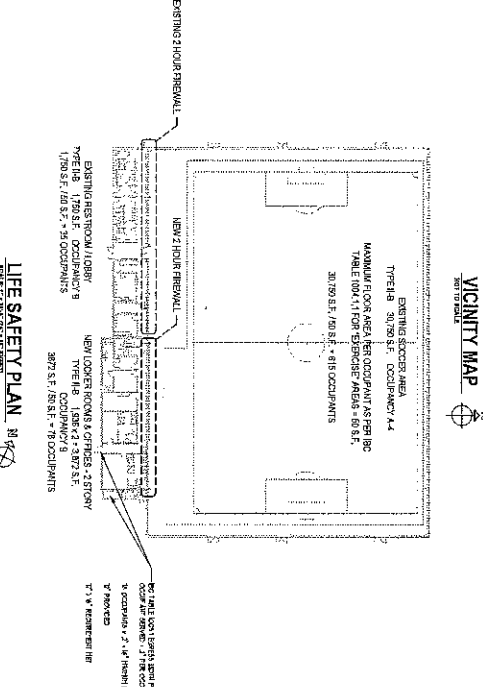
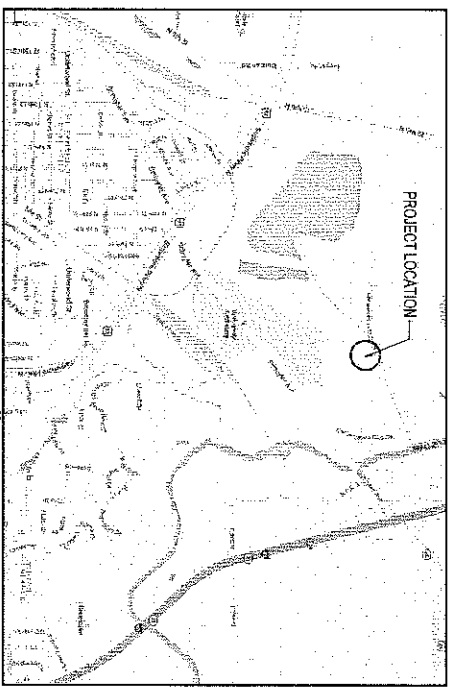
BUILDING AREA
 EXISTING SCOOPER AREA: 20,790 S.F.
 EXISTING RESTROOM/LOBBY AREA: 1,700 S.F.
 TOTAL BUILDING AREA: 22,490 S.F.

MAX BUILDING AREA AS PER 2017 IBC 504.2.2.2 WITH ALLOWABLE
 17.1% MAXIMUM OVERLAYMENT TO EXISTING BUILDING
 AREA TO EXCEED THE ALLOWABLE AREA AND TO NOT EXCEED THE
 LISTED OF ALL PORTIONS OF THE EXTERIOR WALLS.
 THE EXTERIOR AREA IS SEPARATED FROM THE PLANNING FIELD BY 2
 FOOT MINIMUM.

DESCRIPTION OF WORK
 THE EXISTING SCOOPER FACILITY WITH RESTROOMS AND LOBBY TO HAVE A
 THIRDS FLOOR AND OCCUPANCY AREA. THIS FACILITY IS INTENDED TO
 HAVE MINIMUM SEATING FOR AMATEUR YOUTH SCOOPER. IT IS NOT
 INTENDED TO HAVE LARGE DEBENS OF LARGE OCCUPANT LOADS.

LOCAL SUBMITTALS
 GENERAL CONTRACTOR OR APPLICABLE SUB-CONTRACTORS SHALL
 SUBMIT TO THE CITY OF LAFAYETTE THE FOLLOWING ITEMS:
 THREE ALARM SYSTEM WORKSHEET

GENERAL NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2017 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF LAFAYETTE.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
 9. ALL MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY ON THE SITE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.
 11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 12. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
 13. ALL MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY ON THE SITE.
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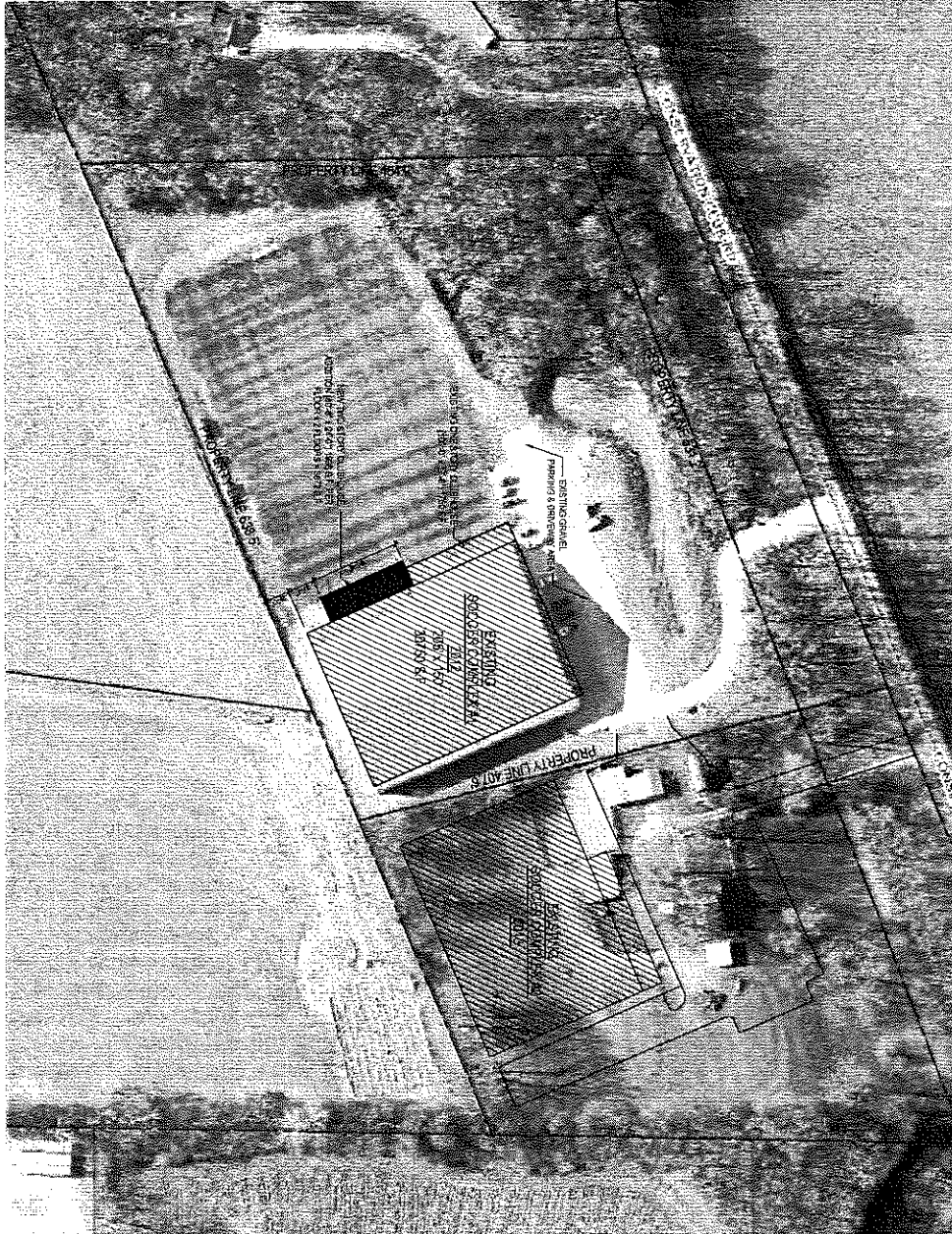
SHEET INDEX

- SITE PLAN
- ARCHITECTURAL SITE PLAN
- ARCHITECTURAL
- FLOOR PLAN
- SECTION CUTS & INTERIOR ELEVATIONS
- MECHANICAL
- ELECTRICAL
- MECHANICAL ELECTRICAL PLUMBING
- MECHANICAL
- ELECTRICAL
- PLUMBING
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- ELECTRICAL
- PLUMBING

REVISION INDEX

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

ARKOR ARCHITECTURAL DESIGN 1515 UNION STREET LAFAYETTE, IN 47904 765.429.4070 www.arkor.com	DeBoy BUILDERS Inc. 1925 MAPLE STREET LAFAYETTE, IN 47904 765.479.8044 www.dboylbuilders.com	REV. DATE REV BY DESCRIPTION 1 02/01/19 JAR BLS IDENTICAL 2 02/01/19 JAR REVISION TO BUILDING DATA TO CORRECT MISSING VARIANCES
		PROJECT TITLE LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION

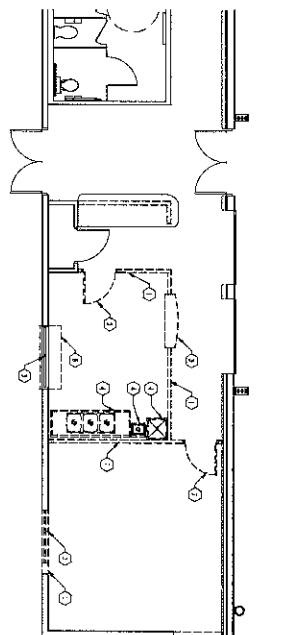


ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0" (AS SHOWN)

SEE SHEET "PROPOSED BY" TABLE
ASSOCIATES - LAND SERVICES ENGINEERS



AS101 SHEET NUMBER	PROJECT NUMBER C-1149	DATE MAY 1, 2019	SCALE AS SHOWN	PROJECT TITLE ARCHITECTURAL SITE PLAN	PROJECT LOCATION 2920 Conservation Club Road, Lafayette, IN 47905	CLIENT LEGACY SPORTS CLUB	DESIGNER ARKOR ARCHITECTURE	CONTRACTOR DeBoy BUILDERS Inc.	REVISIONS <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>REV BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	REV BY	DESCRIPTION																				
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PROFESSIONAL SEAL Andrew A. Hoff		ARKOR HIGH RISE ENGINEERS ARCHITECTURE 1315 JUNIOR STREET ENGINEERING 1000 27th St. Suite 200 PLANNING 1000 27th St. Suite 200 INTERIORS 1000 27th St. Suite 200 www.arkorinc.com																															



GENERAL DEMOLITION NOTES

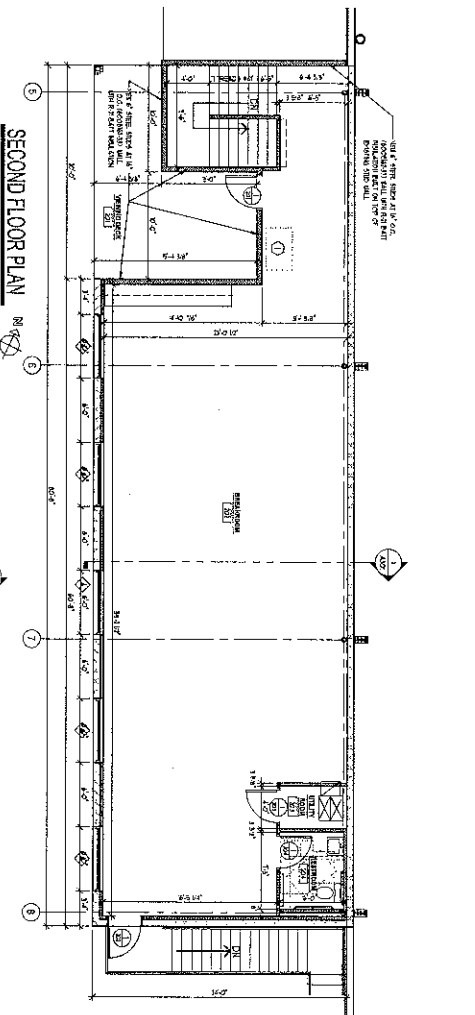
1. ALL STRUCTURAL WORK SHALL BE DONE IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE LOCAL ORDINANCES. ALL STRUCTURAL WORK SHALL BE DONE IN ACCORDANCE WITH THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
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GENERAL ABANDONMENT NOTES

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MAIN FLOOR DEMOLITION PLAN

SCALE: 3/8" = 1'-0" (PER SHEET)

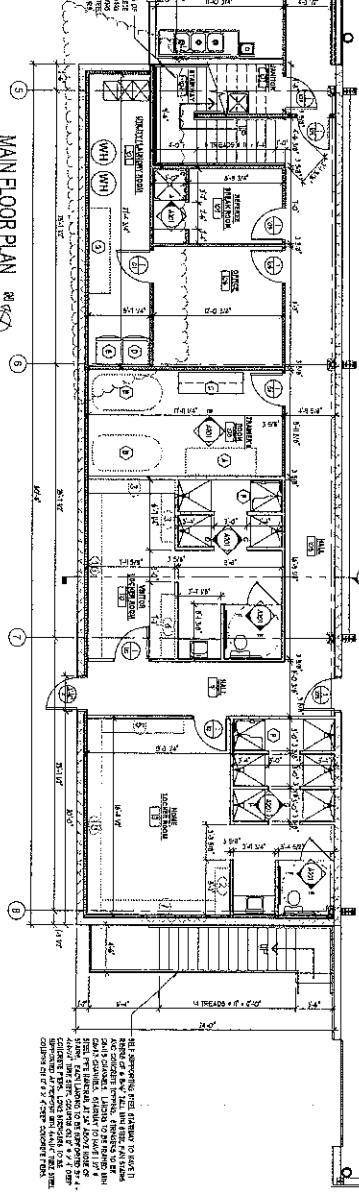


- KEYNOTE LEGEND**
- 1. EXISTING WALL TO BE REMOVED
 - 2. EXISTING FLOOR TO BE REMOVED
 - 3. EXISTING ROOF TO BE REMOVED
 - 4. EXISTING STRUCTURE TO BE REMOVED
 - 5. EXISTING STRUCTURE TO BE REMOVED
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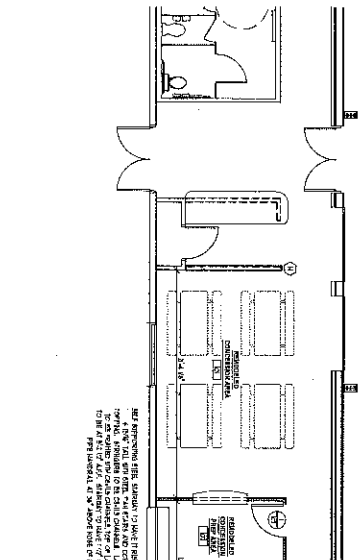
SECOND FLOOR PLAN

SCALE: 3/8" = 1'-0" (PER SHEET)



MAN FLOOR PLAN

SCALE: 3/8" = 1'-0" (PER SHEET)



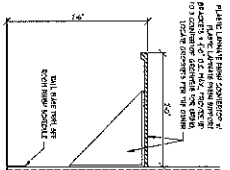
<p>PROJECT INFORMATION</p> <p>SHEET TITLE FLOOR PLAN</p> <p>PROJECT: LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION</p> <p>PROJECT LOCATION: 2920 Conservation Club Road, Lafayette, IN 47905</p>	<p>CLIENT: LEGACY SPORTS CLUB</p> <p>DESIGNER: ARKOR ARCHITECTS & ENGINEERS</p> <p>DATE: 10/20/11</p> <p>SCALE: 3/8" = 1'-0"</p>	<p>ARCHITECTURE 100 EAST STREET LAFAYETTE, IN 47904 765.222.1111 www.arkor.com</p> <p>ENGINEERING 100 EAST STREET LAFAYETTE, IN 47904 765.222.1111 www.arkor.com</p>	<p>REV</p> <p>DATE</p> <p>DESCRIPTION</p>
			<p>10/20/11</p> <p>10/20/11</p> <p>10/20/11</p>

WINDOW SCHEDULE			
ID	SYMBOL	UNITS	NOTES
1	48" x 72" WOOD	1	
2	48" x 72" WOOD	1	

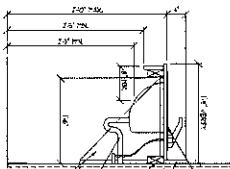
RESTROOM ACCESSORY SCHEDULE			
ID	SYMBOL	UNITS	NOTES
1	1" DIA. BRASS BALL	1	
2	1" DIA. BRASS BALL	1	
3	1" DIA. BRASS BALL	1	
4	1" DIA. BRASS BALL	1	
5	1" DIA. BRASS BALL	1	
6	1" DIA. BRASS BALL	1	
7	1" DIA. BRASS BALL	1	
8	1" DIA. BRASS BALL	1	
9	1" DIA. BRASS BALL	1	
10	1" DIA. BRASS BALL	1	
11	1" DIA. BRASS BALL	1	
12	1" DIA. BRASS BALL	1	

DOOR SCHEDULE			
ID	SYMBOL	UNITS	NOTES
1	48" x 72" WOOD	1	
2	48" x 72" WOOD	1	
3	48" x 72" WOOD	1	
4	48" x 72" WOOD	1	
5	48" x 72" WOOD	1	
6	48" x 72" WOOD	1	
7	48" x 72" WOOD	1	
8	48" x 72" WOOD	1	
9	48" x 72" WOOD	1	
10	48" x 72" WOOD	1	
11	48" x 72" WOOD	1	
12	48" x 72" WOOD	1	

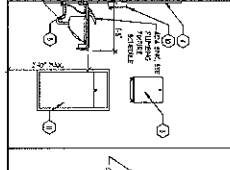
ROOM FINISH SCHEDULE			
ID	SYMBOL	UNITS	NOTES
1	PAINTED CONCRETE	1	
2	PAINTED CONCRETE	1	
3	PAINTED CONCRETE	1	
4	PAINTED CONCRETE	1	
5	PAINTED CONCRETE	1	
6	PAINTED CONCRETE	1	
7	PAINTED CONCRETE	1	
8	PAINTED CONCRETE	1	
9	PAINTED CONCRETE	1	
10	PAINTED CONCRETE	1	
11	PAINTED CONCRETE	1	
12	PAINTED CONCRETE	1	



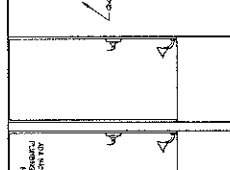
1 COUNTER SECTION
ASB SCALE: 1/4" = 1'-0"



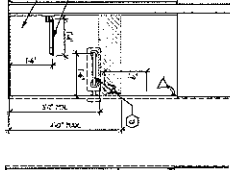
2 LAVATORY CLEARANCES (TYP.)
ASB SCALE: 1/4" = 1'-0"



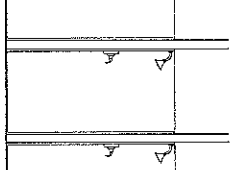
3 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



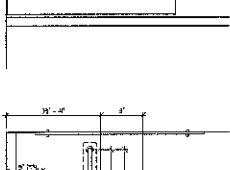
4 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



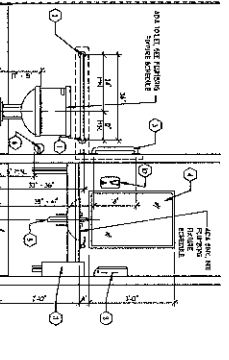
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ASB SCALE: 1/4" = 1'-0"



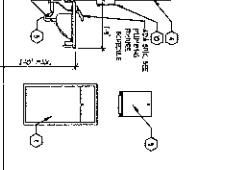
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ASB SCALE: 1/4" = 1'-0"



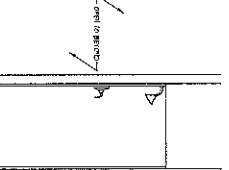
7 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



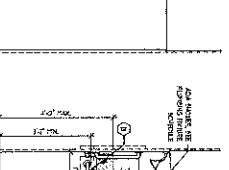
8 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



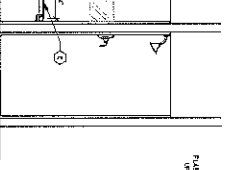
9 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



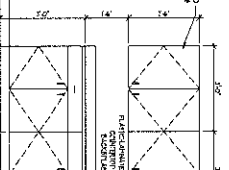
10 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



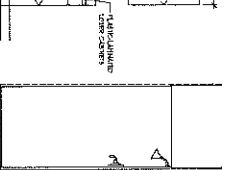
11 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



12 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"

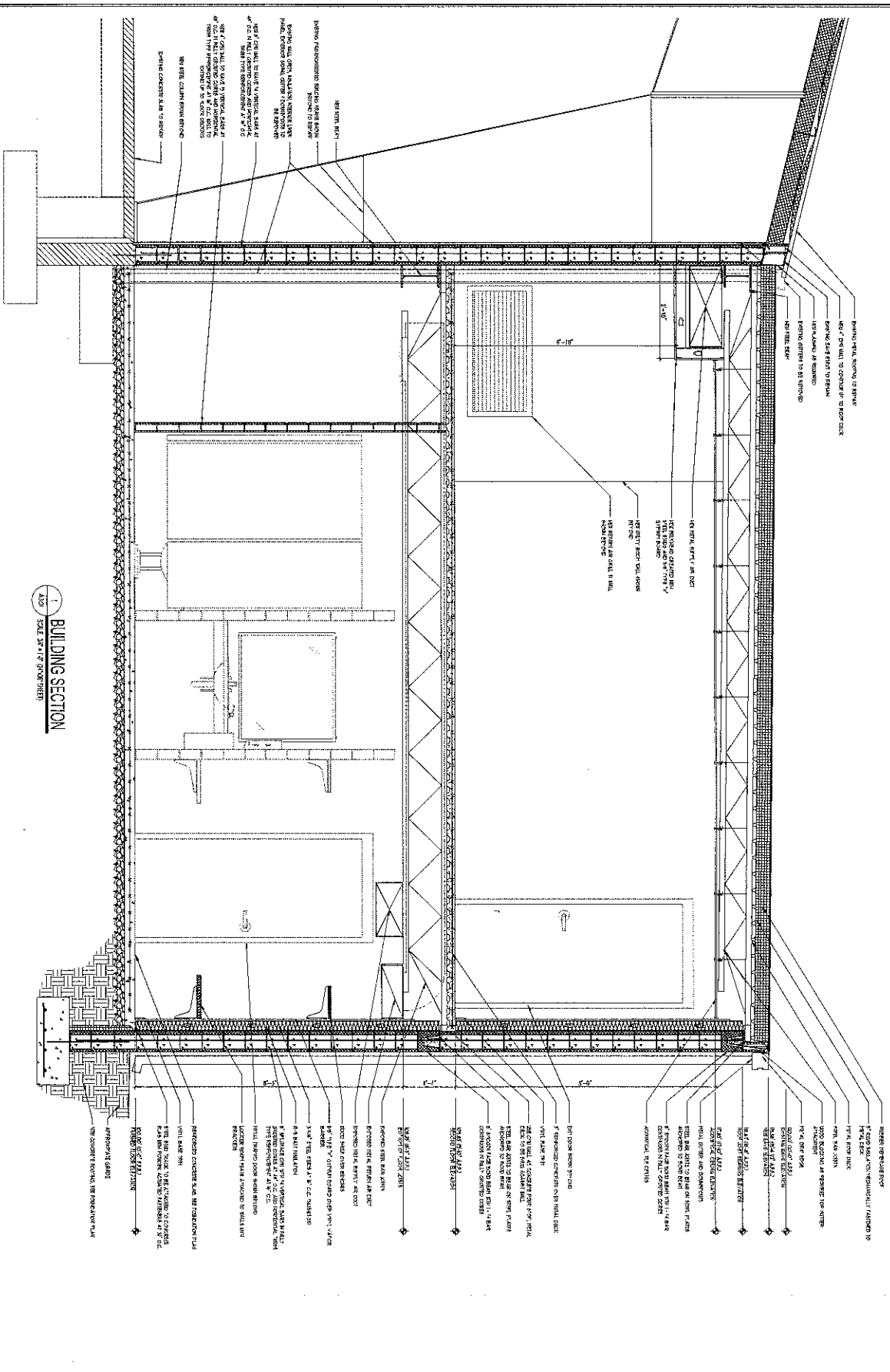


13 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"



14 RR ELEVATION
ASB SCALE: 1/4" = 1'-0"

SCHEDULES & INTERIOR ELEVATIONS PROJECT: LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION PROJECT LOCATION: 2920 Conservation Club Road, Lafayette, IN 47905			 1331 JAMES STREET LAFAYETTE, IN 47904 TEL: 765.445.1234 FAX: 765.445.1235 WWW.ARKORARCHITECTS.COM	DeBoer BUILDERS Inc. 1331 JAMES STREET LAFAYETTE, IN 47904 TEL: 765.445.1234 FAX: 765.445.1235 WWW.DBOERBUILDERS.COM
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BUILDING SECTION
 SCALE 3/4" = 1'-0" (AS SHOWN)

1. CONCRETE FLOOR SHALL BE CAST IN PLACE WITH REINFORCING BARS AND SHALL BE FINISHED TO MATCH EXISTING FLOOR FINISH.

2. WOOD FLOOR SHALL BE CAST ON TOP OF CONCRETE FLOOR WITH 1" MINIMUM CLEARANCE FROM CONCRETE FLOOR TO BOTTOM OF JOIST.

3. INSULATION SHALL BE 2" MINIMUM THICKNESS R-15 POLYISOCYANURATE FIBER GLASS INSULATION.

4. WALLS SHALL BE 8" MINIMUM THICKNESS CONCRETE BLOCK WITH 2" MINIMUM THICKNESS POLYISOCYANURATE FIBER GLASS INSULATION.

5. ROOF SHALL BE 4" MINIMUM THICKNESS CONCRETE SLAB WITH 2" MINIMUM THICKNESS POLYISOCYANURATE FIBER GLASS INSULATION.

6. CEILING SHALL BE 4" MINIMUM THICKNESS CONCRETE SLAB WITH 2" MINIMUM THICKNESS POLYISOCYANURATE FIBER GLASS INSULATION.

7. FLOOR JOISTS SHALL BE 2" MINIMUM THICKNESS LAMINATED VENEER LUMBER (LVL) WITH 1" MINIMUM THICKNESS POLYISOCYANURATE FIBER GLASS INSULATION.

8. ROOF JOISTS SHALL BE 2" MINIMUM THICKNESS LAMINATED VENEER LUMBER (LVL) WITH 1" MINIMUM THICKNESS POLYISOCYANURATE FIBER GLASS INSULATION.

9. WALLS SHALL BE 8" MINIMUM THICKNESS CONCRETE BLOCK WITH 2" MINIMUM THICKNESS POLYISOCYANURATE FIBER GLASS INSULATION.

10. CEILING SHALL BE 4" MINIMUM THICKNESS CONCRETE SLAB WITH 2" MINIMUM THICKNESS POLYISOCYANURATE FIBER GLASS INSULATION.

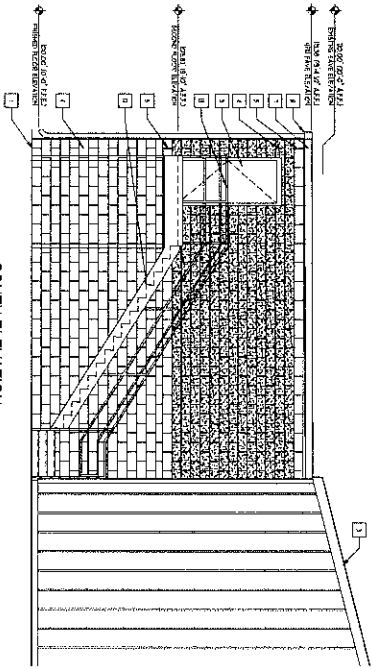
PROJECT TITLE BUILDING SECTIONS LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION 2920 Conservation Club Road, Lafayette, IN 47905			REV DATE REV BY DESCRIPTION																
			<table border="1"> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>																
DeBoy BUILDERS Inc. Residential Commercial Industrial																			

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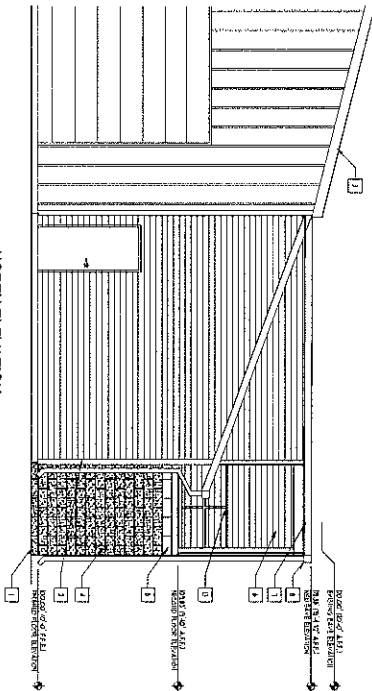
C-1449

2920 Conservation Club Road, Lafayette, IN 47905

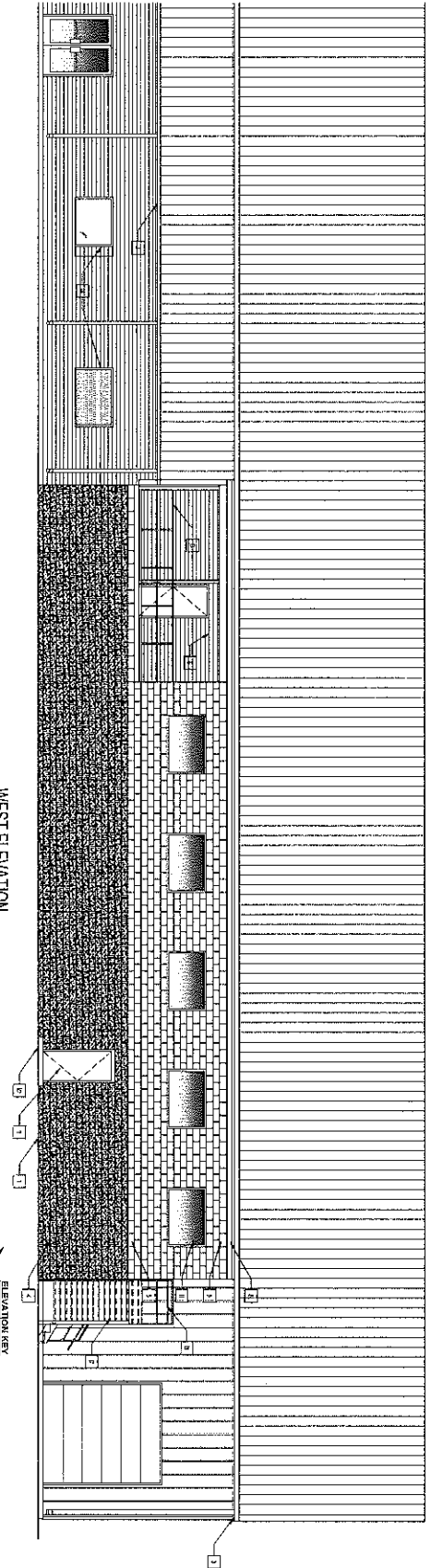
SOUTH ELEVATION
SCALE: 1/4" = 1'-0" (AS SHOWN)



NORTH ELEVATION
SCALE: 1/4" = 1'-0" (AS SHOWN)

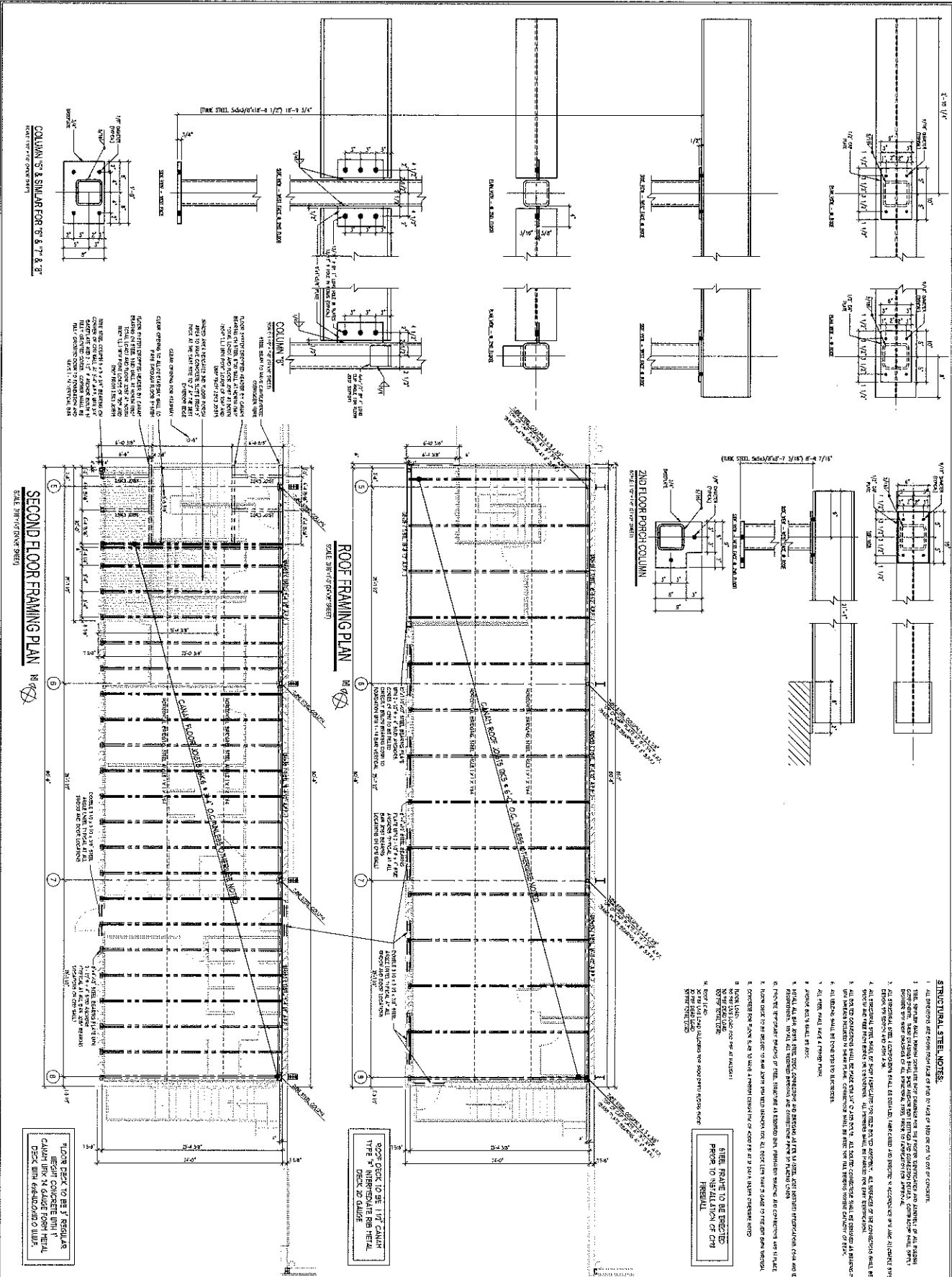


WEST ELEVATION
SCALE: 3/8" = 1'-0" (AS SHOWN)



- ELEVATION KEY:**
- 1 APPROXIMATE GRADE
 - 2 EXTERIOR FINISHES
 - 3 FINISHES, ACCESS DETAILS
 - 4 FINISHES, ACCESS DETAILS
 - 5 FINISHES, ACCESS DETAILS
 - 6 FINISHES, ACCESS DETAILS
 - 7 FINISHES, ACCESS DETAILS
 - 8 FINISHES, ACCESS DETAILS
 - 9 FINISHES, ACCESS DETAILS
 - 10 FINISHES, ACCESS DETAILS

<p>PROJECT TITLE EXTERIOR ELEVATIONS</p> <p>PROJECT LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION</p> <p>PROJECT LOCATION 2920 Conservation Club Road, Lafayette, IN 47905</p>	<p>DATE: 03/24/2011</p> <p>REV. BY: [Signature]</p> <p>DESCRIPTION: STATE REPERTAL</p>	<p>ARKOR ARCHITECTS & ENGINEERS</p> <p>1111 SOUTH HARRIS LAFAYETTE, IN 47905 765-842-4444 WWW.ARKOR-INDY.COM</p> <p>1111 SOUTH HARRIS LAFAYETTE, IN 47905 765-842-4444 WWW.ARKOR-INDY.COM</p>



COLUMN '6' & SIMILAR FOR '6' & '7' & '8'

SECOND FLOOR FRAMING PLAN

SCALE: 3/8" = 1'-0"

ROOF FRAMING PLAN

SCALE: 3/8" = 1'-0"

- STRUCTURAL STEEL NOTES:**
1. ALL STRUCTURE IS TO BE FABRICATED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL WORK.
 3. ALL STRUCTURAL STEEL SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL CONSTRUCTION MANUAL AND THE AISC DESIGN GUIDE FOR COMPOSITE ACTION.
 4. ALL STRUCTURAL STEEL SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL CONSTRUCTION MANUAL AND THE AISC DESIGN GUIDE FOR COMPOSITE ACTION.
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 15. ALL STRUCTURAL STEEL SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL CONSTRUCTION MANUAL AND THE AISC DESIGN GUIDE FOR COMPOSITE ACTION.

STEEL FRAMING TO BE DETECTED PRIOR TO FINISH FLOORING OR CEILING

FLOOR DECK TO BE 7" REGULAR CURVED CONCRETE WITH 1" METAL DECK WITH 1/2" REINFORCING BARS

DOOR GIRD TO BE 11" I BEAM TYPE 300 WITH 1/2" METAL DECK ON GIRD

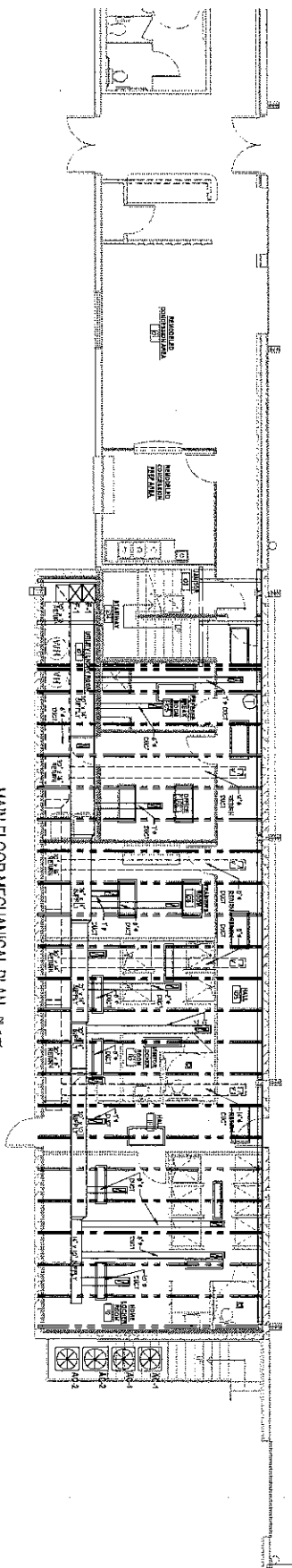
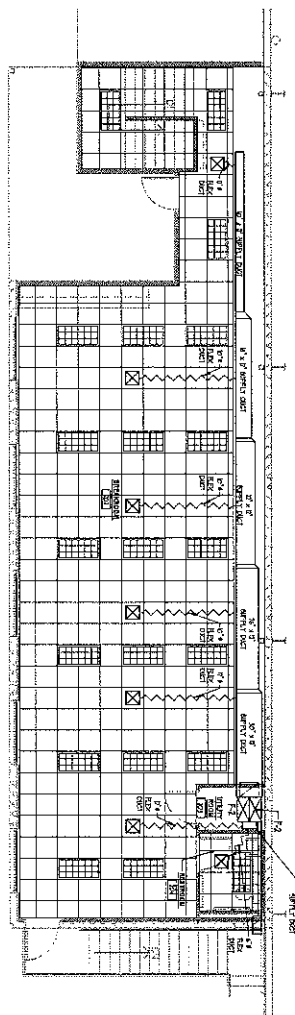
<p>ARKOR STRUCTURAL STEELWORK</p> <p>1020 N. STATE ST. LAFAYETTE, IN 47904 764-999-0000</p> <p>DeBoy BUILDERS Inc.</p>	<p>NO. 1020 N. STATE ST. LAFAYETTE, IN 47904 764-999-0000</p>	<p>NO. 1020 N. STATE ST. LAFAYETTE, IN 47904 764-999-0000</p>	<p>NO. 1020 N. STATE ST. LAFAYETTE, IN 47904 764-999-0000</p>
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LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION

2920 Conservation Club Road, Lafayette, IN 47905

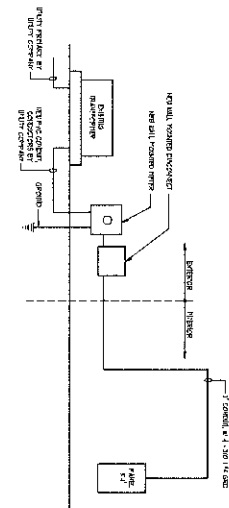
S201

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	11.504 Special Return Ventilator		11.504 Special Return Ventilator
	11.504 Special Return Ventilator		11.504 Special Return Ventilator
	11.504 Special Return Ventilator		11.504 Special Return Ventilator
	11.504 Special Return Ventilator		11.504 Special Return Ventilator
	11.504 Special Return Ventilator		11.504 Special Return Ventilator
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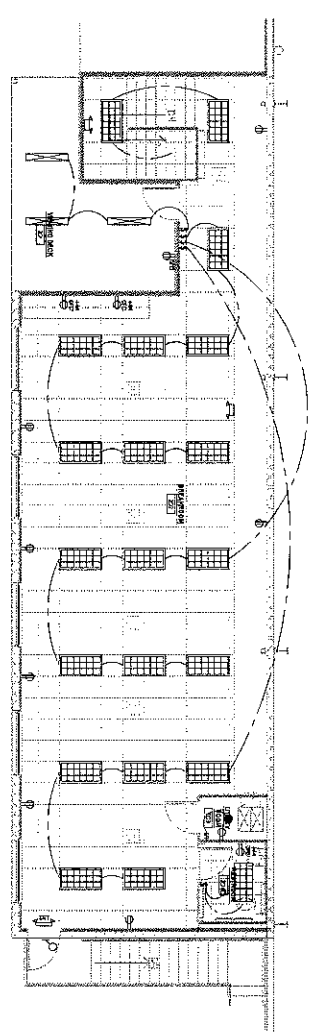


- GENERAL MECHANICAL NOTES:**
1. ALL mechanical work shall be performed in accordance with the applicable mechanical code requirements and shall be permitted by a local authority having jurisdiction (LAHJ).
 2. MECHANICAL CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THIS WORK.
 3. CONTRACTOR SHALL PROVIDE ALL NECESSARY FIELD TESTS OF INSTALLATION.
 4. ALL HVAC SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE.
 5. ALL HVAC SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE AND THE 2015 INTERNATIONAL FIRE AND SAFETY CODE.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THIS WORK.
 7. ALL MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE AND THE 2015 INTERNATIONAL FIRE AND SAFETY CODE.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THIS WORK.

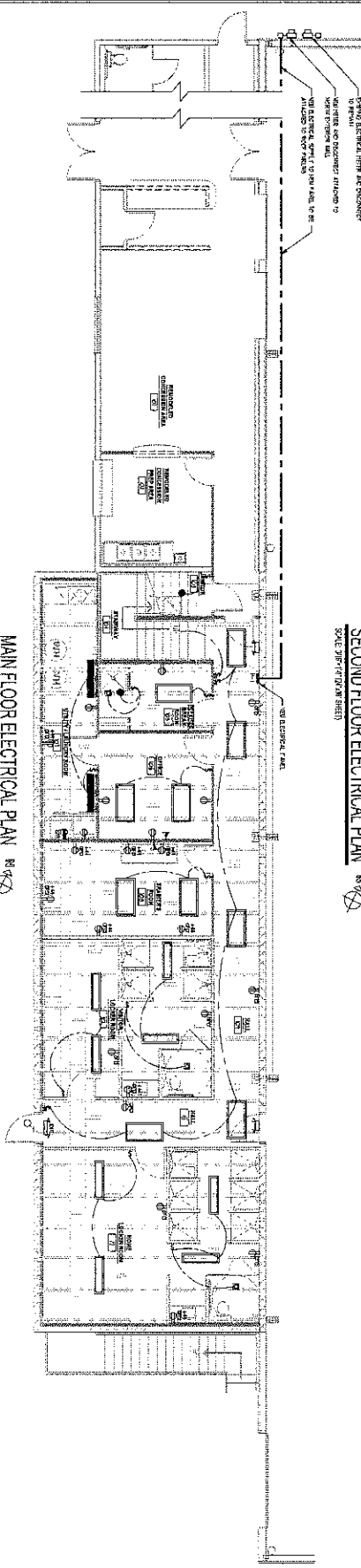
MECHANICAL PLAN PROJECT: LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION PROJECT LOCATION: 2920 Conservation Club Road, Lafayette, IN 47905	SEAL: Andrew A. Shiffert	 ARCHITECTURE 1616 UNDER STREET, GREENVILLE, SC 29601 PLUMBING 232 N. 10TH ST., COLUMBIA, SC 29201 MECHANICAL 232 N. 10TH ST., COLUMBIA, SC 29201 803.746.8544	REV: DATE: REV BY: DESCRIPTION:
			PROJECT NUMBER: C-1449 SHEET NUMBER: M101



ELECTRICAL RISER DIAGRAM
N.T.S.



SECOND FLOOR ELECTRICAL PLAN
SCALE: 3/8" = 1'-0" (AS SHOWN)



MAIN FLOOR ELECTRICAL PLAN
SCALE: 3/8" = 1'-0" (AS SHOWN)

1	RECEPTACLE	15 AMP, 20 AMP, 30 AMP, 50 AMP
2	SWITCH	15 AMP, 20 AMP, 30 AMP, 50 AMP
3	OUTLET	15 AMP, 20 AMP, 30 AMP, 50 AMP
4	FIXTURE	15 AMP, 20 AMP, 30 AMP, 50 AMP
5	TRANSFORMER	15 AMP, 20 AMP, 30 AMP, 50 AMP
6	CONDUIT	15 AMP, 20 AMP, 30 AMP, 50 AMP
7	TRAY	15 AMP, 20 AMP, 30 AMP, 50 AMP
8	WIRE	15 AMP, 20 AMP, 30 AMP, 50 AMP
9	TERMINAL	15 AMP, 20 AMP, 30 AMP, 50 AMP
10	GROUNDING	15 AMP, 20 AMP, 30 AMP, 50 AMP
11	CONNECTION	15 AMP, 20 AMP, 30 AMP, 50 AMP
12	PROTECTION	15 AMP, 20 AMP, 30 AMP, 50 AMP
13	ISOLATION	15 AMP, 20 AMP, 30 AMP, 50 AMP
14	IDENTIFICATION	15 AMP, 20 AMP, 30 AMP, 50 AMP
15	RECORDING	15 AMP, 20 AMP, 30 AMP, 50 AMP
16	MAINTENANCE	15 AMP, 20 AMP, 30 AMP, 50 AMP
17	REPAIR	15 AMP, 20 AMP, 30 AMP, 50 AMP
18	REPLACEMENT	15 AMP, 20 AMP, 30 AMP, 50 AMP
19	REVISION	15 AMP, 20 AMP, 30 AMP, 50 AMP
20	REWORK	15 AMP, 20 AMP, 30 AMP, 50 AMP

GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
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ARKOR ARCHITECTURAL ENGINEERING INTERIORS CONSTRUCTION PROJECT MANAGEMENT 1000 N. W. 10th Ave. Ft. Lauderdale, FL 33304 954.575.1111 www.arkor.com		DeBoy BUILDERS Inc. Residential Commercial 708 6th Ave. Ft. Lauderdale, FL 33304	DATE: _____ DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____
			PROJECT TITLE: ELECTRICAL PLAN PROJECT: LEGACY SPORTS CLUB - BLDG #1 CLUBHOUSE ADDITION PROJECT LOCATION: 2920 Conservation Club Road, Lafayette, IN 47905
DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____ SCALE: _____ SHEET NO: E101	PROJECT NO: C-1449 DRAWING NO: _____ SHEET NO: _____		

